



CHICAGO DEPARTMENT OF
PLANNING & DEVELOPMENT

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CHICAGO PLAN COMMISSION

Department of Planning and Development

Former Field's Warehouse – PD Amendment (PD 1261)
4000 W. Diversey (31st Ward – Ald. Cardona)
KV 4000 Diversey Commercial LLC

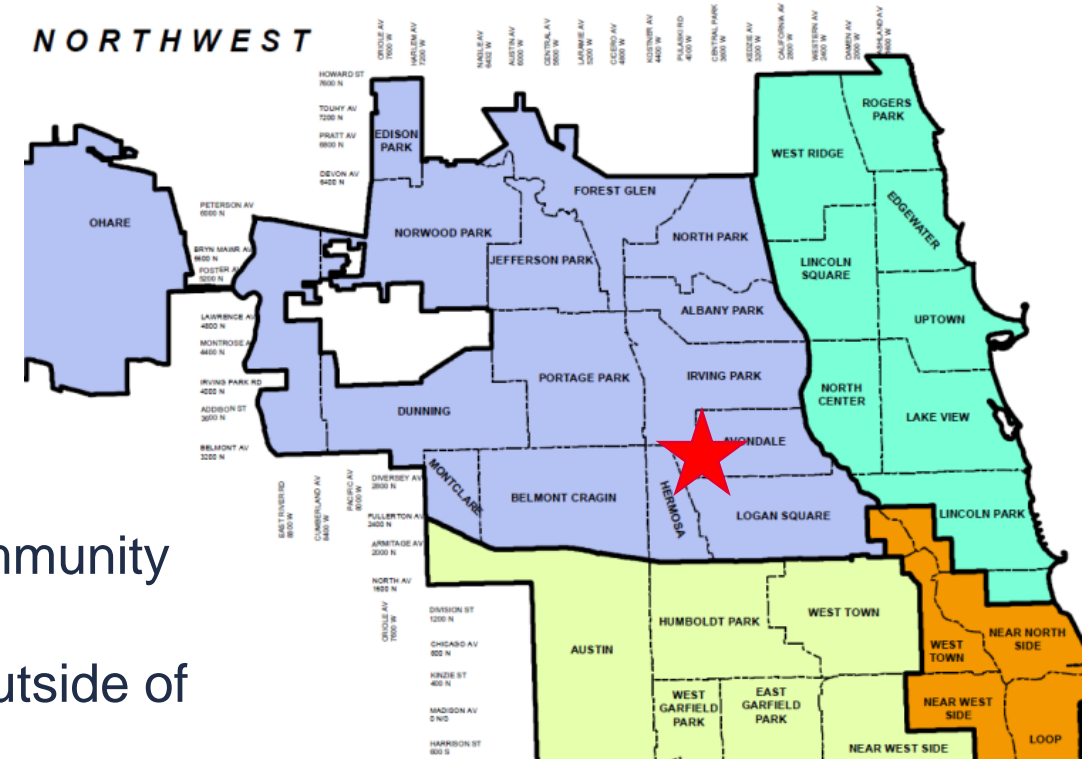
02/18/2020

★ Community Area Snap Shot

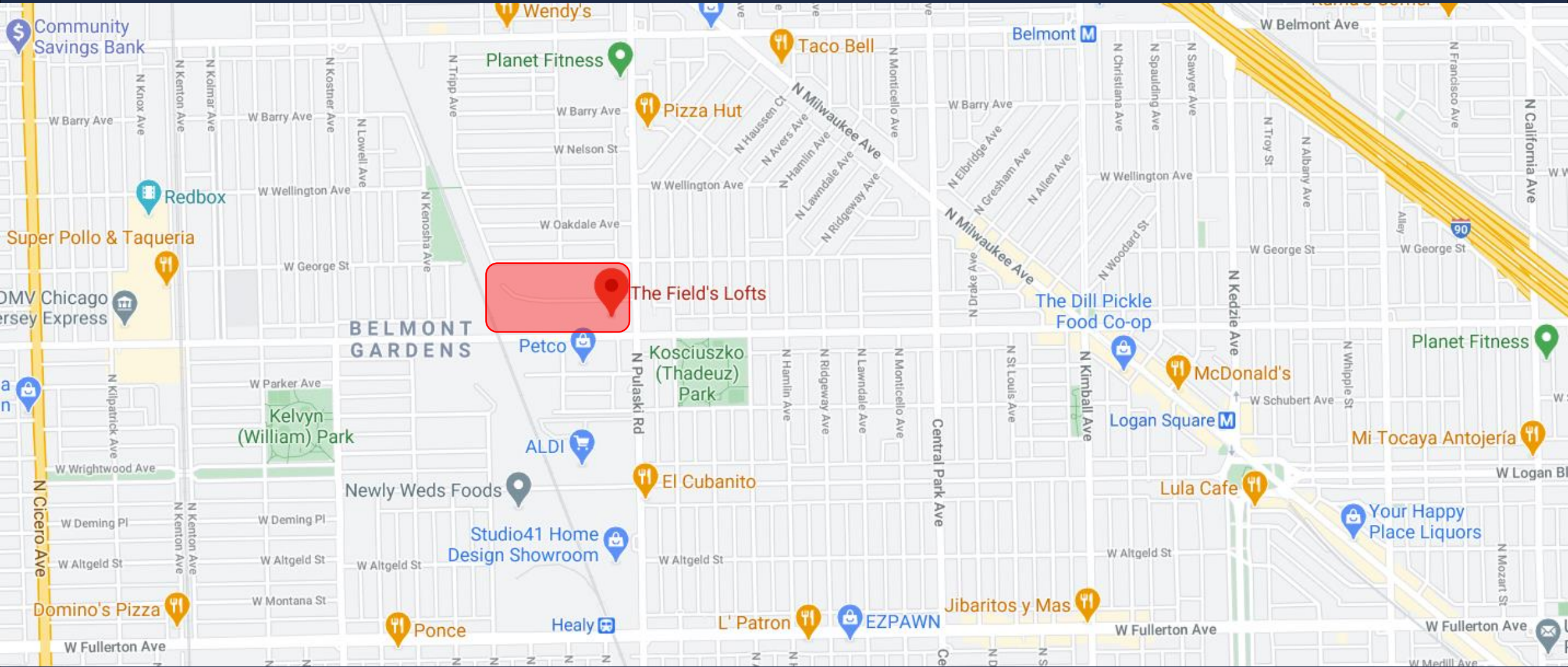
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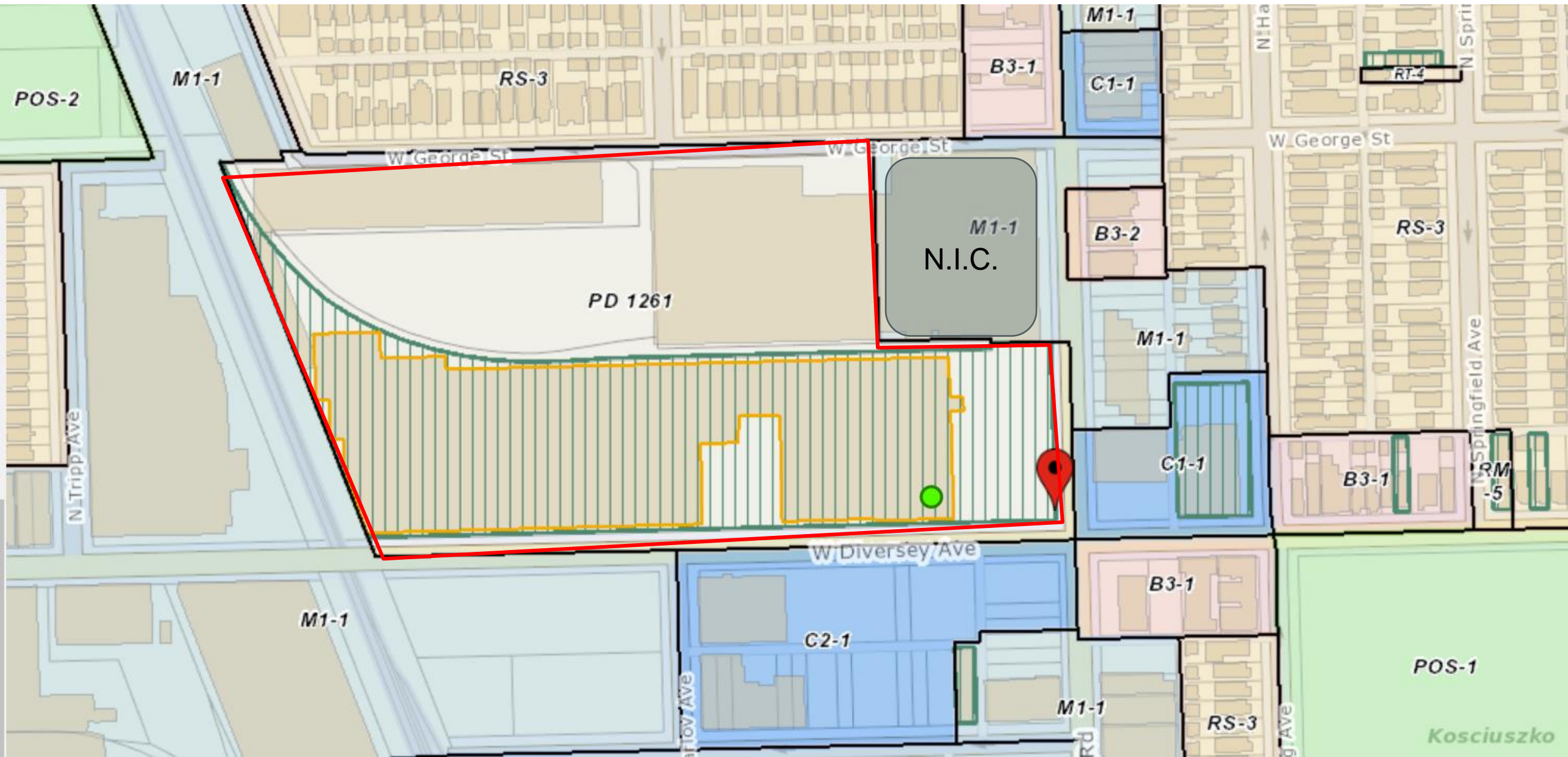
AVONDALE COMMUNITY AREA:

- Population: 37,909
- 57% Hispanic/Latino; 35% White non-Hispanic
- Median Age: 32.8
- Median Income: \$60,000
- Housing Type: 80% multi-family (3+ units)
- Avondale jobs:
 - 50% held by non-Chicago residents
 - 4% of local residents work within the Avondale community area
 - 53% of local residents work either in the Loop or outside of Chicago

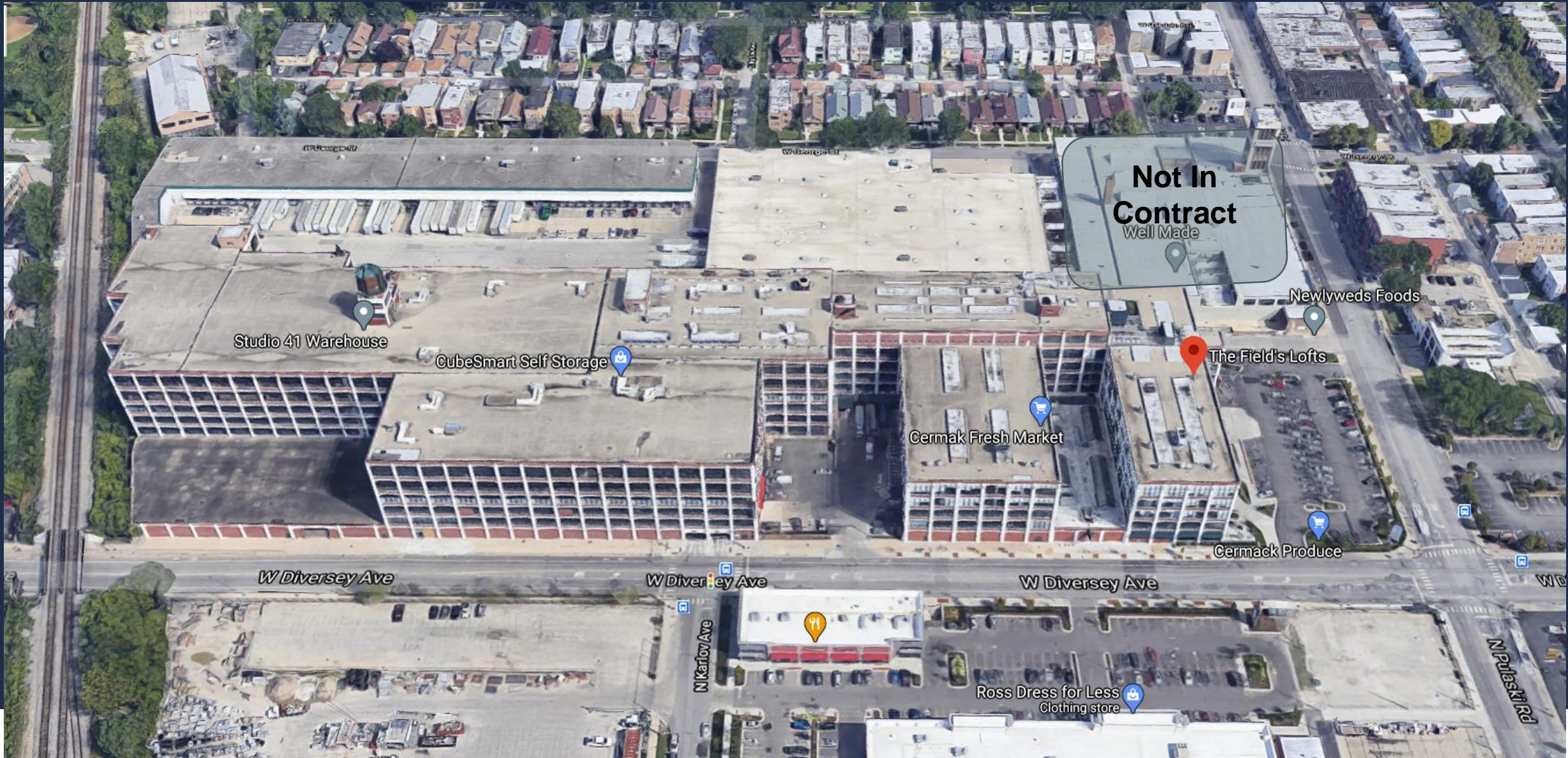


Source: CMAP Community Snapshots, <https://www.cmap.illinois.gov/documents/10180/126764/Avondale.pdf>





LAND USE CONTEXT PLAN



Not In
Contract
Well Made

Studio 41 Warehouse

CubeSmart Self Storage

Cermak Fresh Market

The Field's Lofts

Newlyweds Foods

Cermak Produce

W Diversey Ave

W Diversey Ave

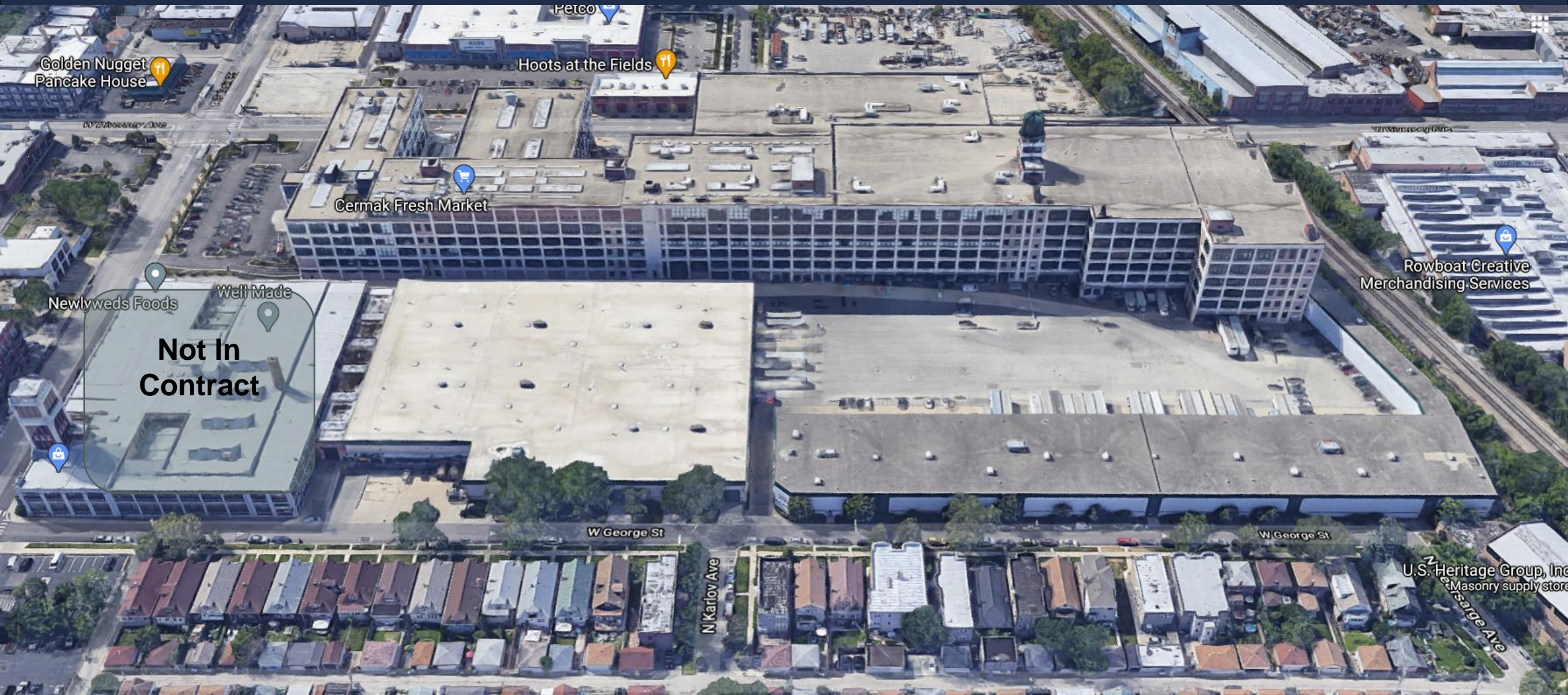
W Diversey Ave

N Karlov Ave

N Pulaski Rd

Ross Dress for Less
Clothing store

AERIAL VIEW FROM THE SOUTH – LOOKING NORTH



AERIAL VIEW FROM THE NORTH – LOOKING SOUTH

Pedestrian Context



Pedestrian Context

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EXISTING CONDITIONS (Street View)



NEW LONG-SPAN BUILDING (Street View)

Project Timeline + Community Outreach

- **Date of PD Filing:**
September 9, 2020
- **Dates of Community Meetings:**
May 27, 2020
February 11, 2021
- **Bullet Points of Project Changes Based on Feedback:**
 - Expansion of certain currently permitted uses to additional subareas
 - Per community feedback, no issues
 - New uses in the PD that currently are not permitted but are complementary uses to the existing commercial corridor
 - Per community feedback, no issues
 - Exterior egress stair (along Diversey) to facilitate the proposed roof deck (open to the public within reasonable hours)
 - Per community feedback, the egress stair has been enclosed for public safety/security and the facade will be made of brick in order to remain aesthetically consistent with building exterior, not intended to be public open space but rather privately managed space that can be made open to the public during normal operating hours.
 - New building elevations for the structures along George Street to allow for additional height needed for the proposed users of those buildings
 - Per community feedback, the proposed exterior height has been reduced from 50' to 44'



Southwest View_Current Design



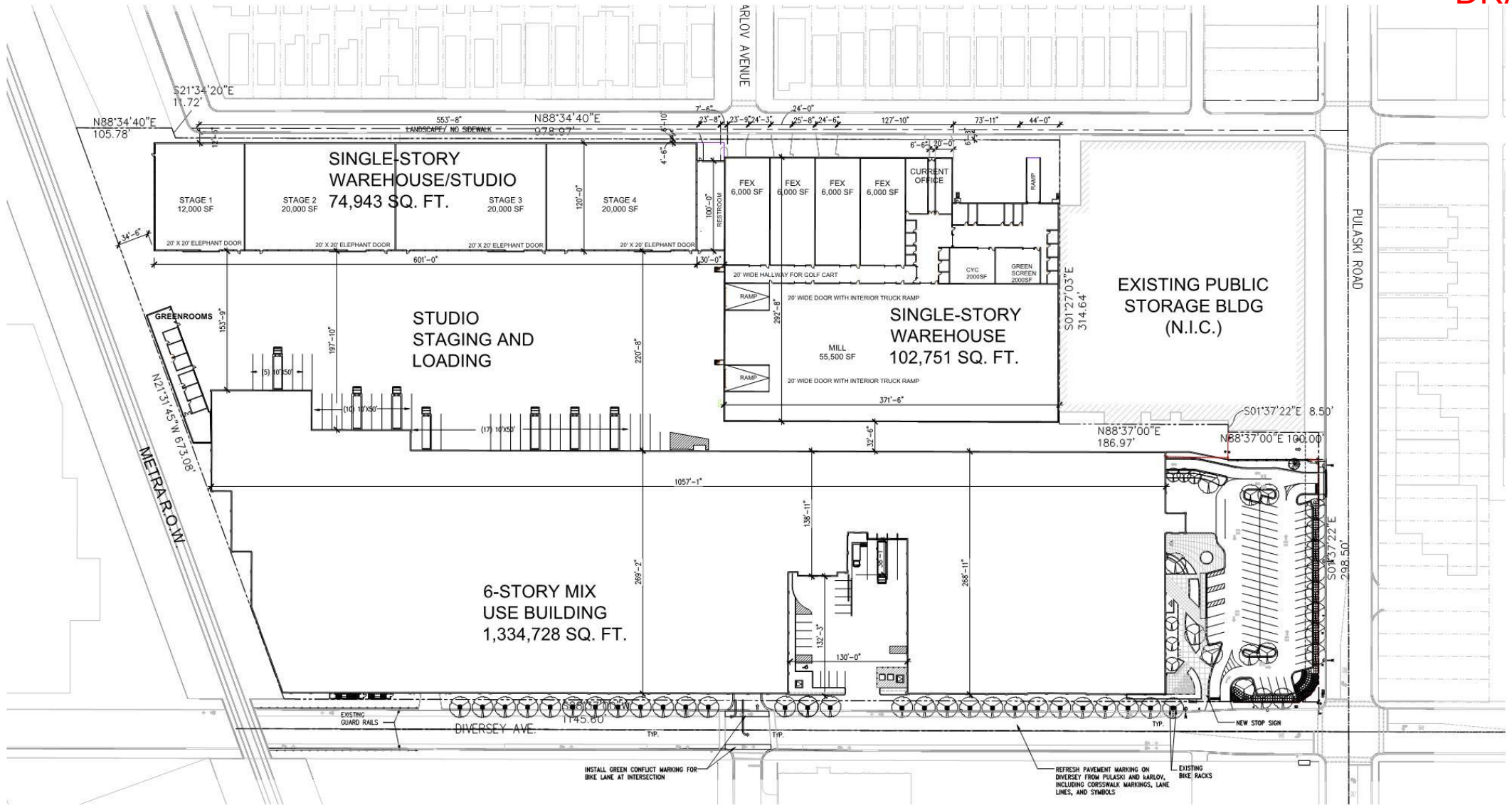
Southwest View_2020 December

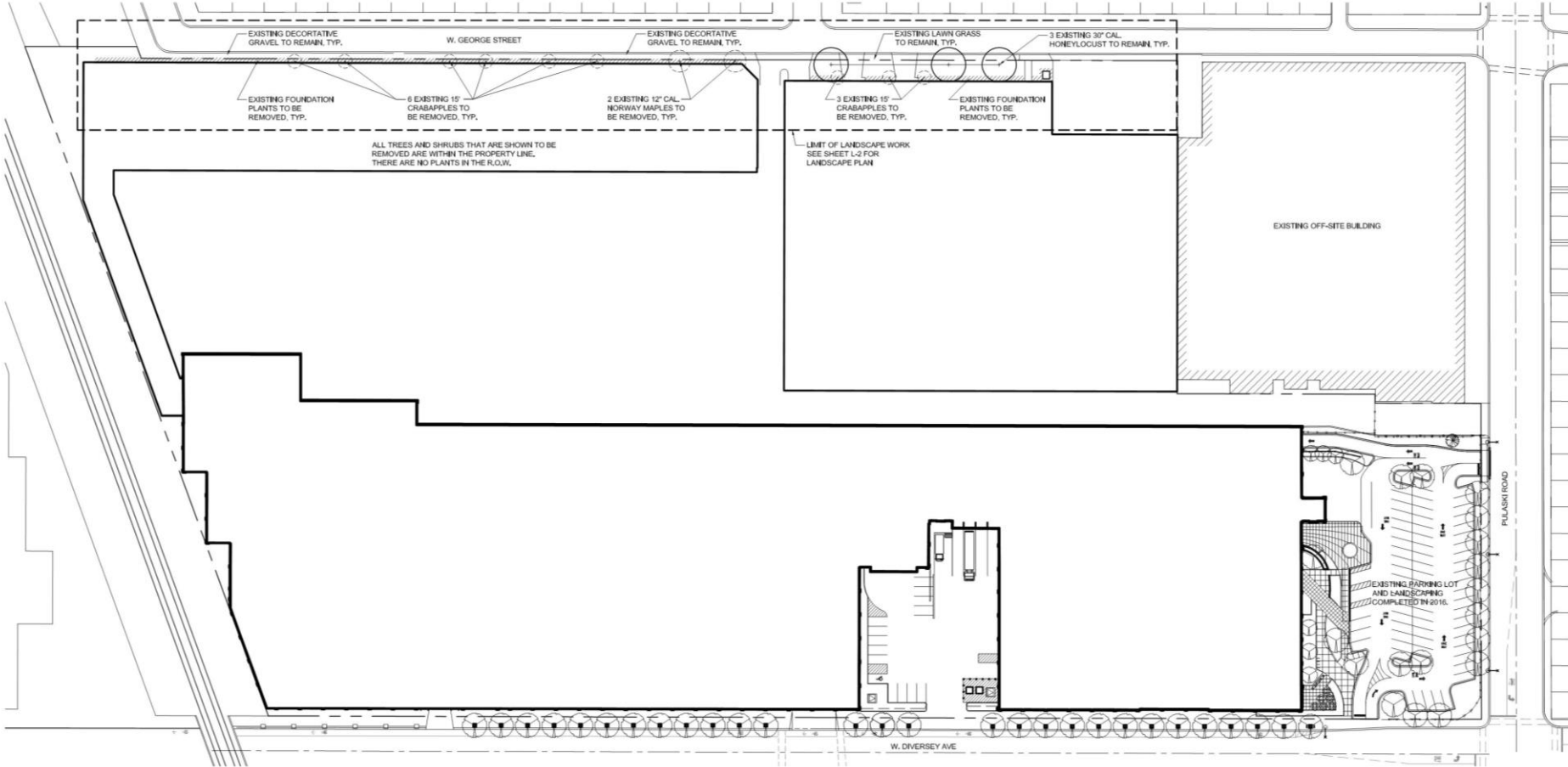


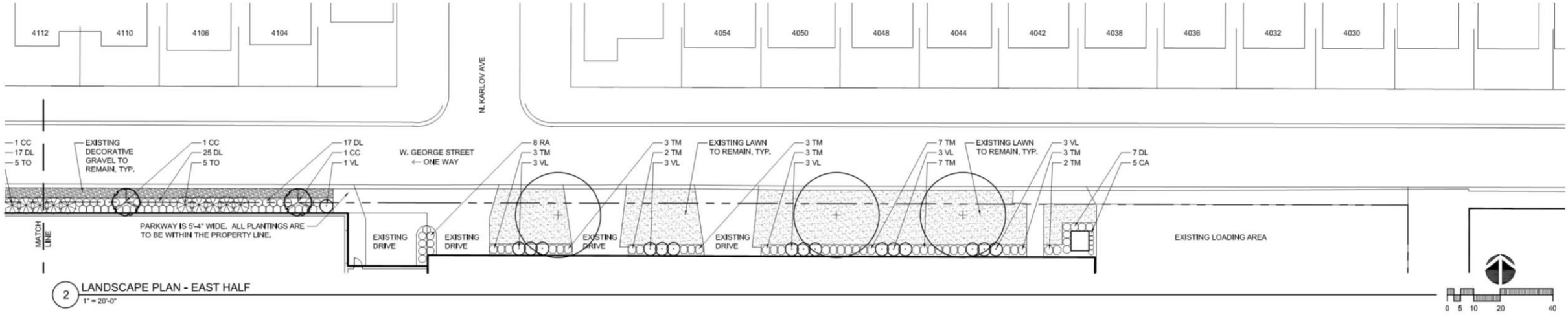
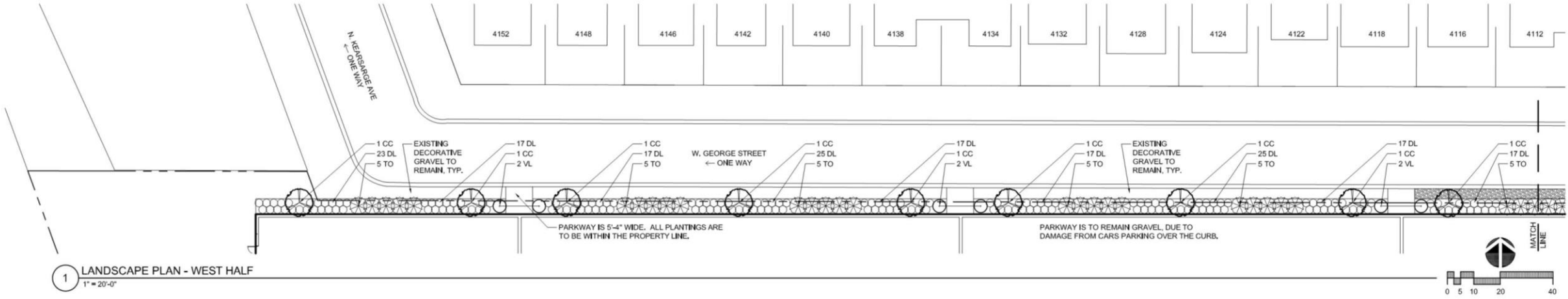
Southwest View_2019 July



Southwest View_2019 June

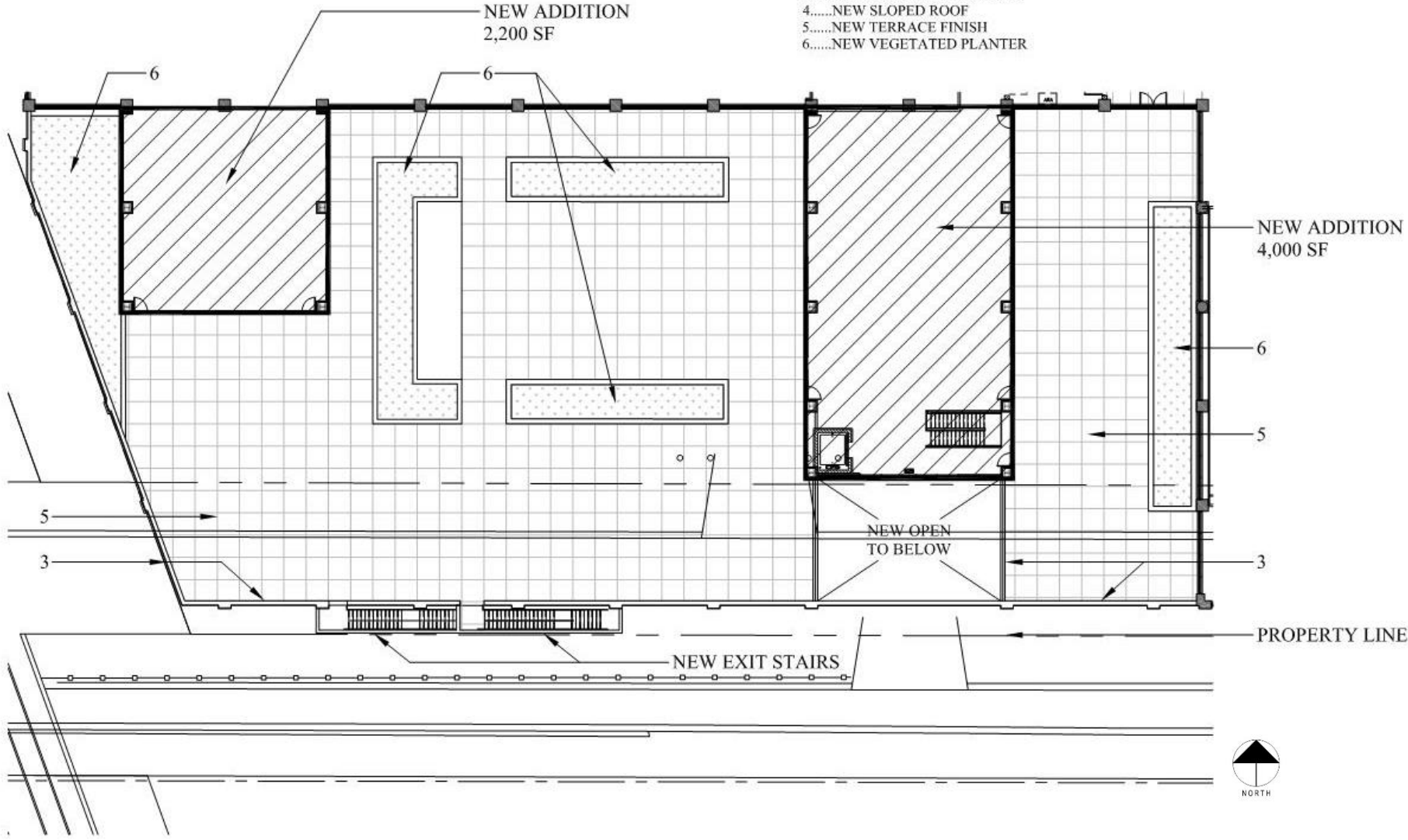


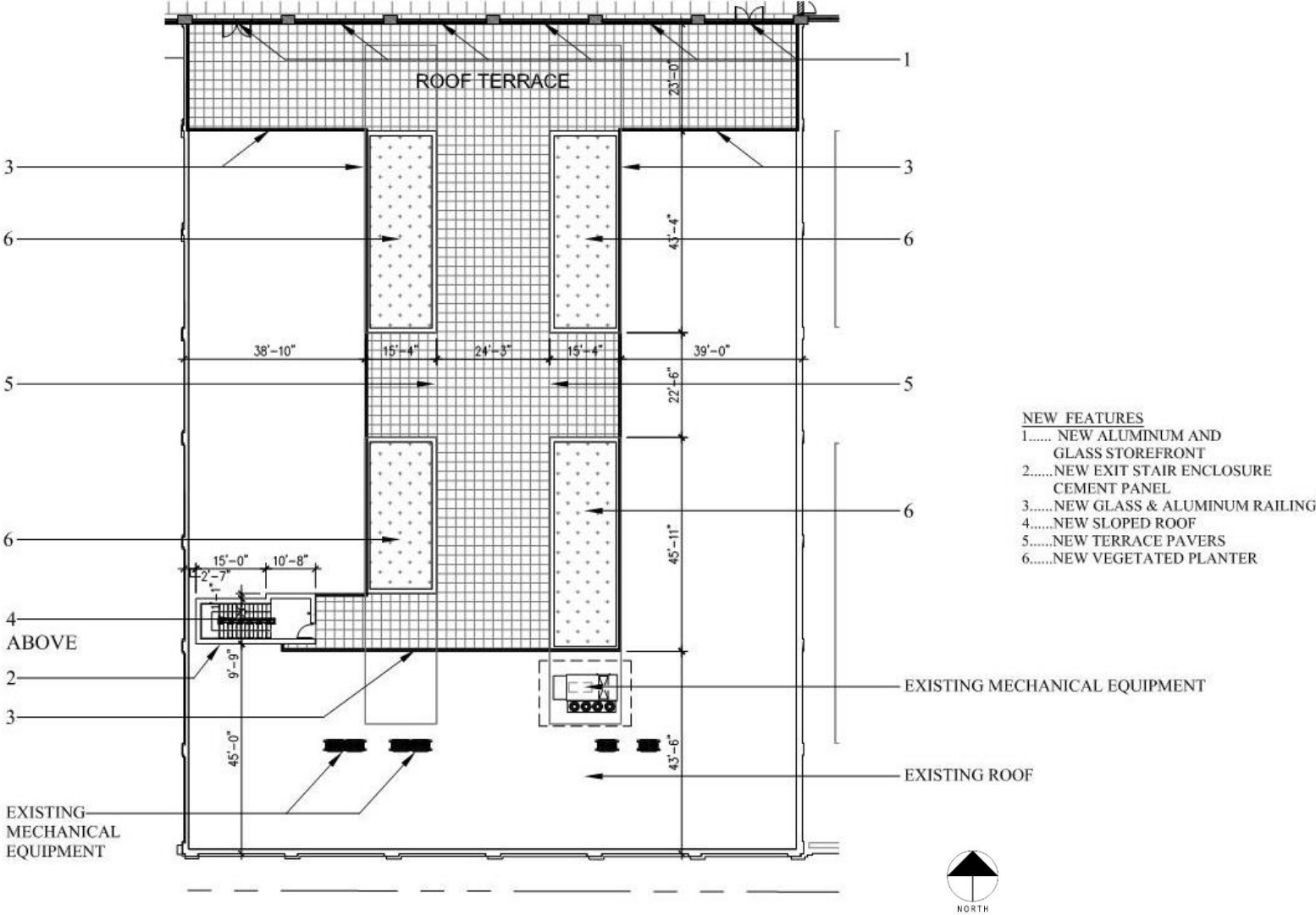




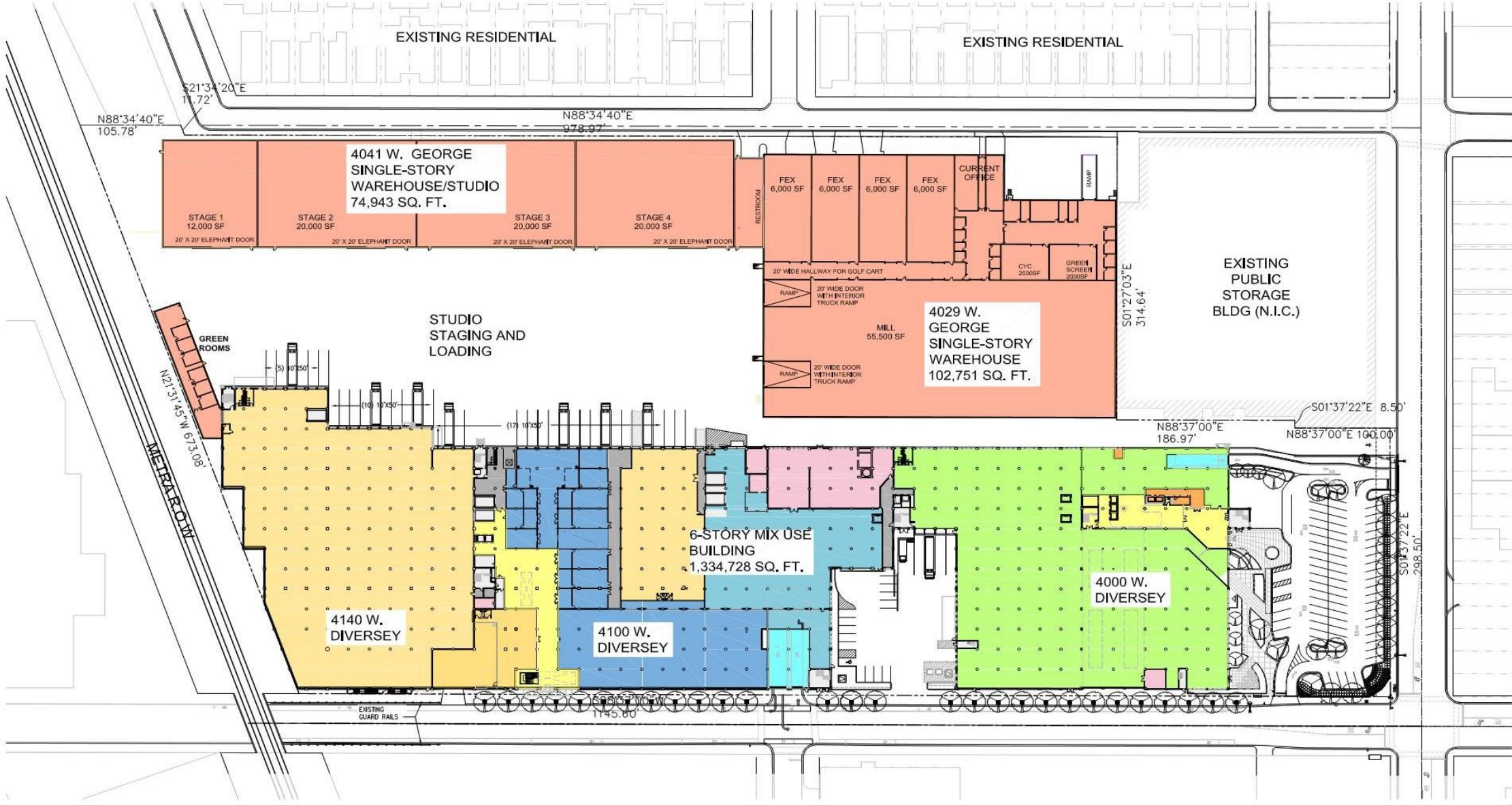
SITE LANDSCAPE PLAN

- NEW FEATURES
- 1..... NEW ALUMINUM AND GLASS STOREFRONT
 - 2.....NEW EXIT STAIR ENCLOSURE CEMENT PANEL
 - 3.....NEW ALUMINUM RAILING
 - 4.....NEW SLOPED ROOF
 - 5.....NEW TERRACE FINISH
 - 6.....NEW VEGETATED PLANTER

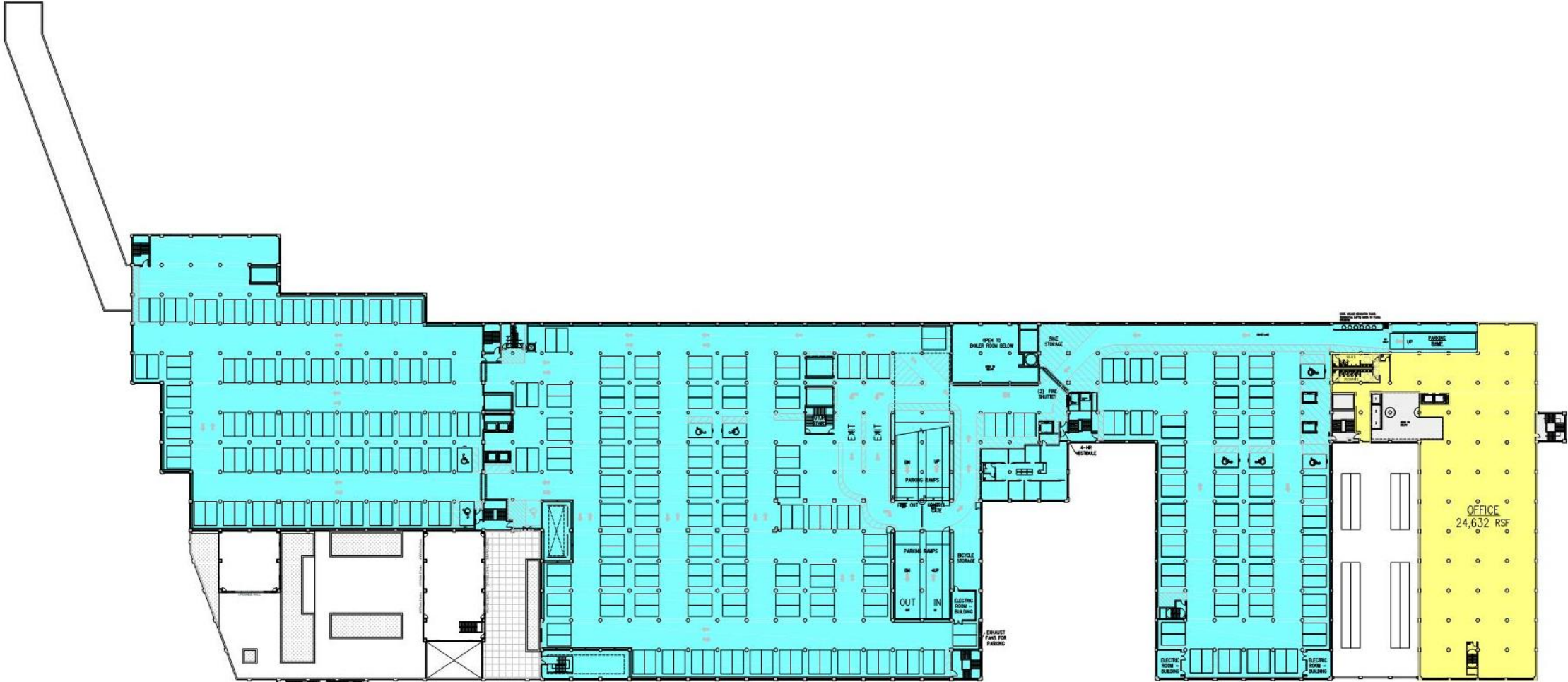




BUILDING B LEVEL 6 LANDSCAPE PLAN



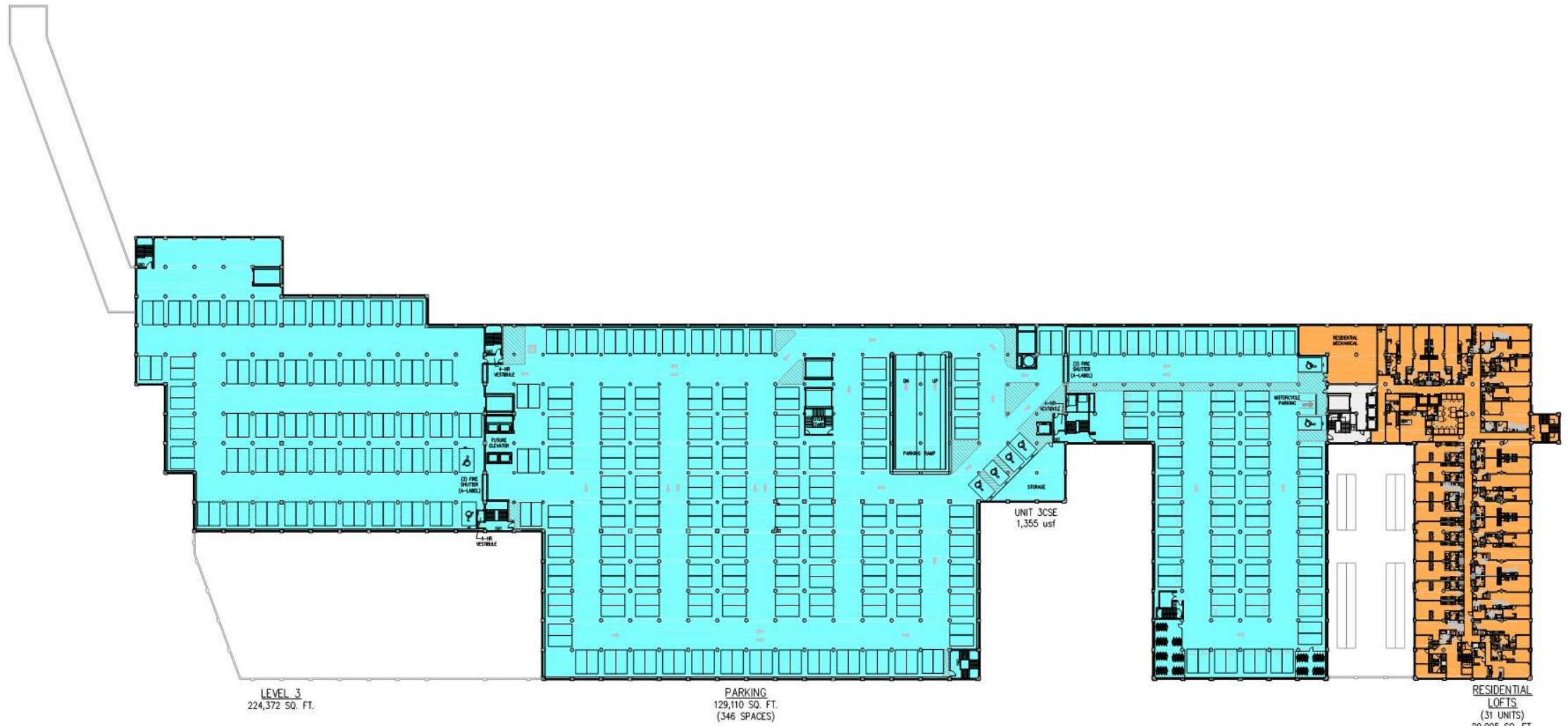
NORTH

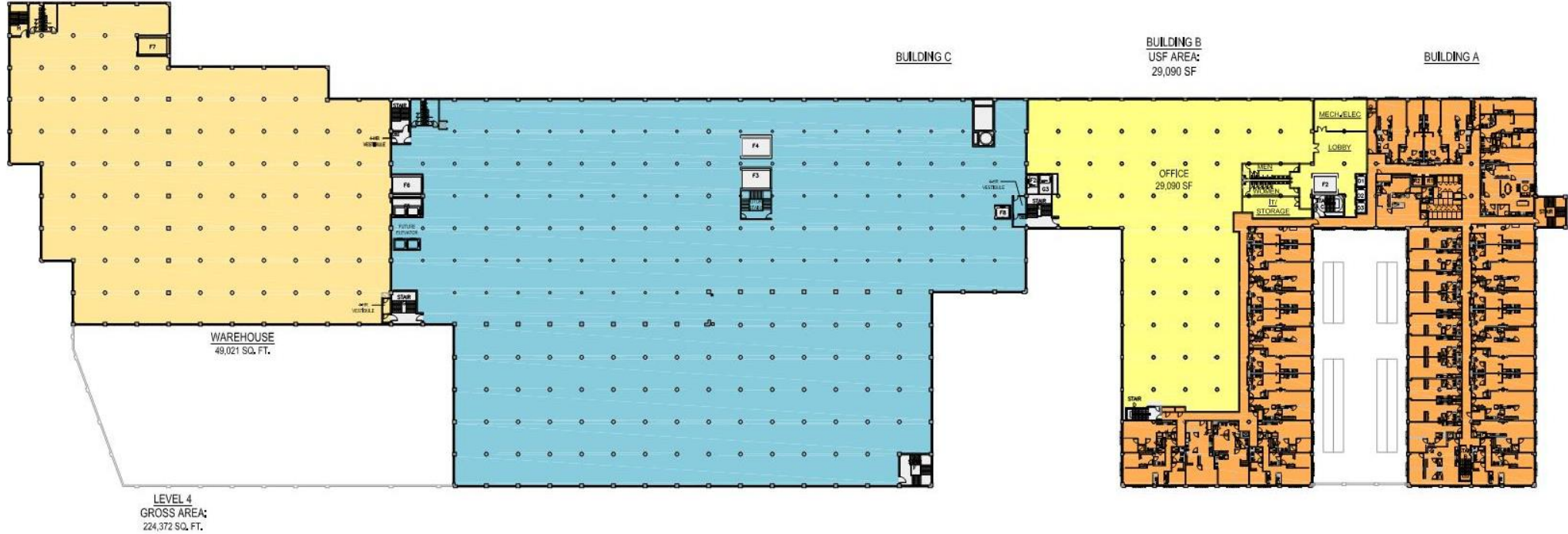


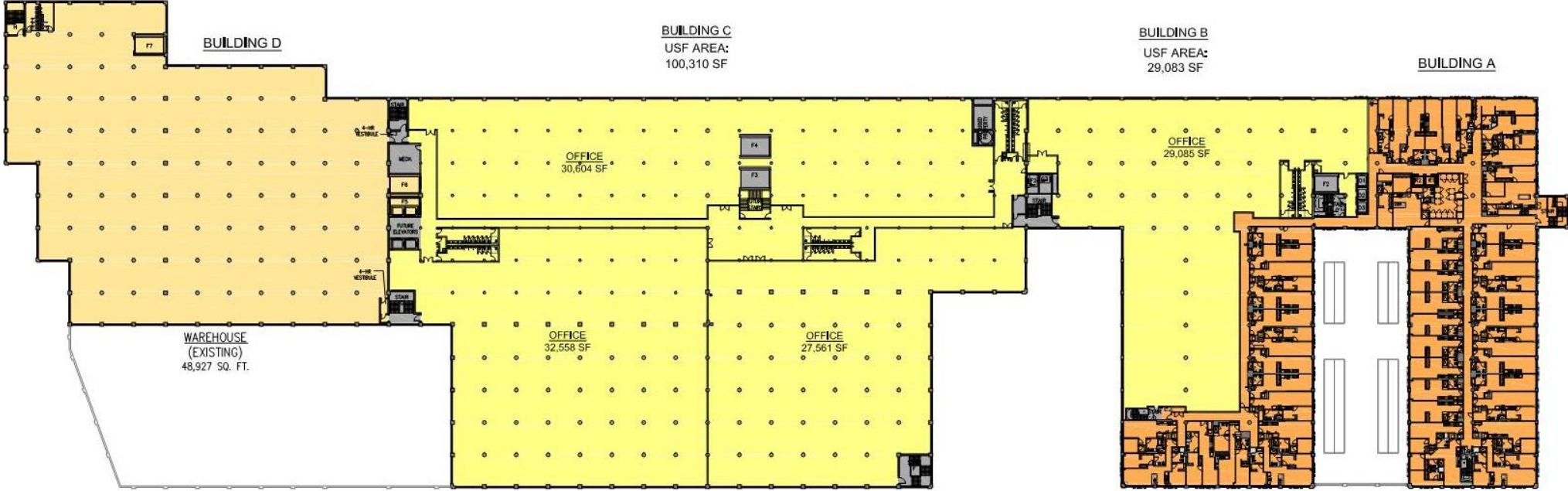
LEVEL 2
GROSS AREA:
224,372 SQ. FT.

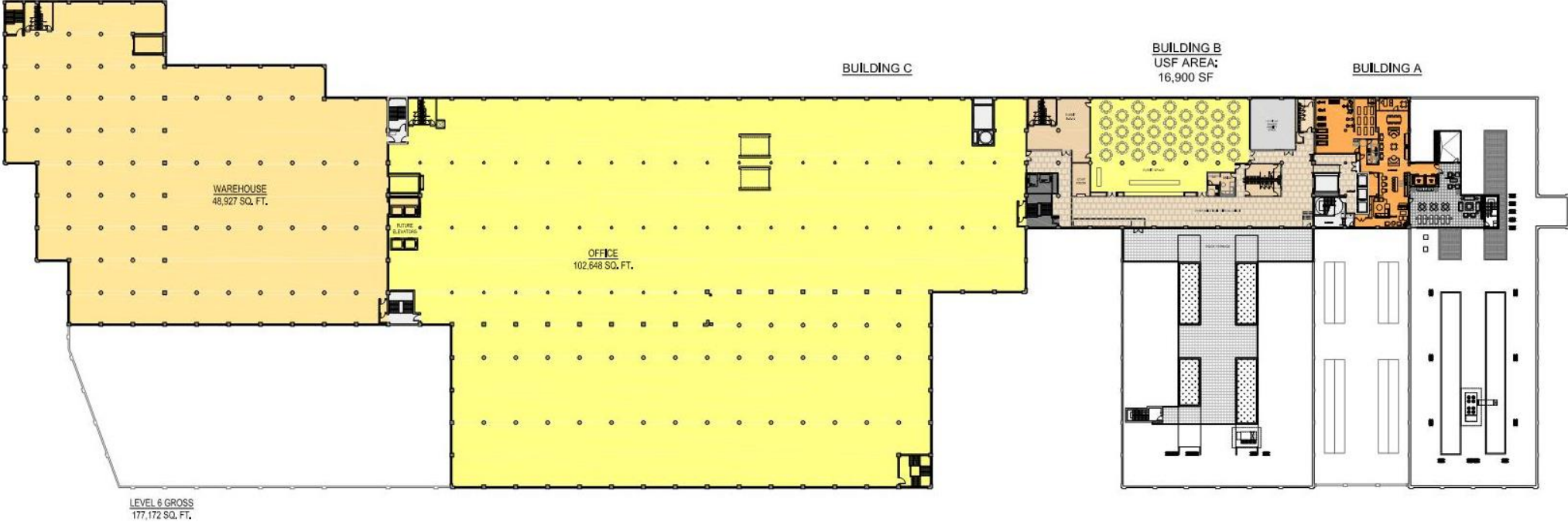
PARKING
(215 SPACES)

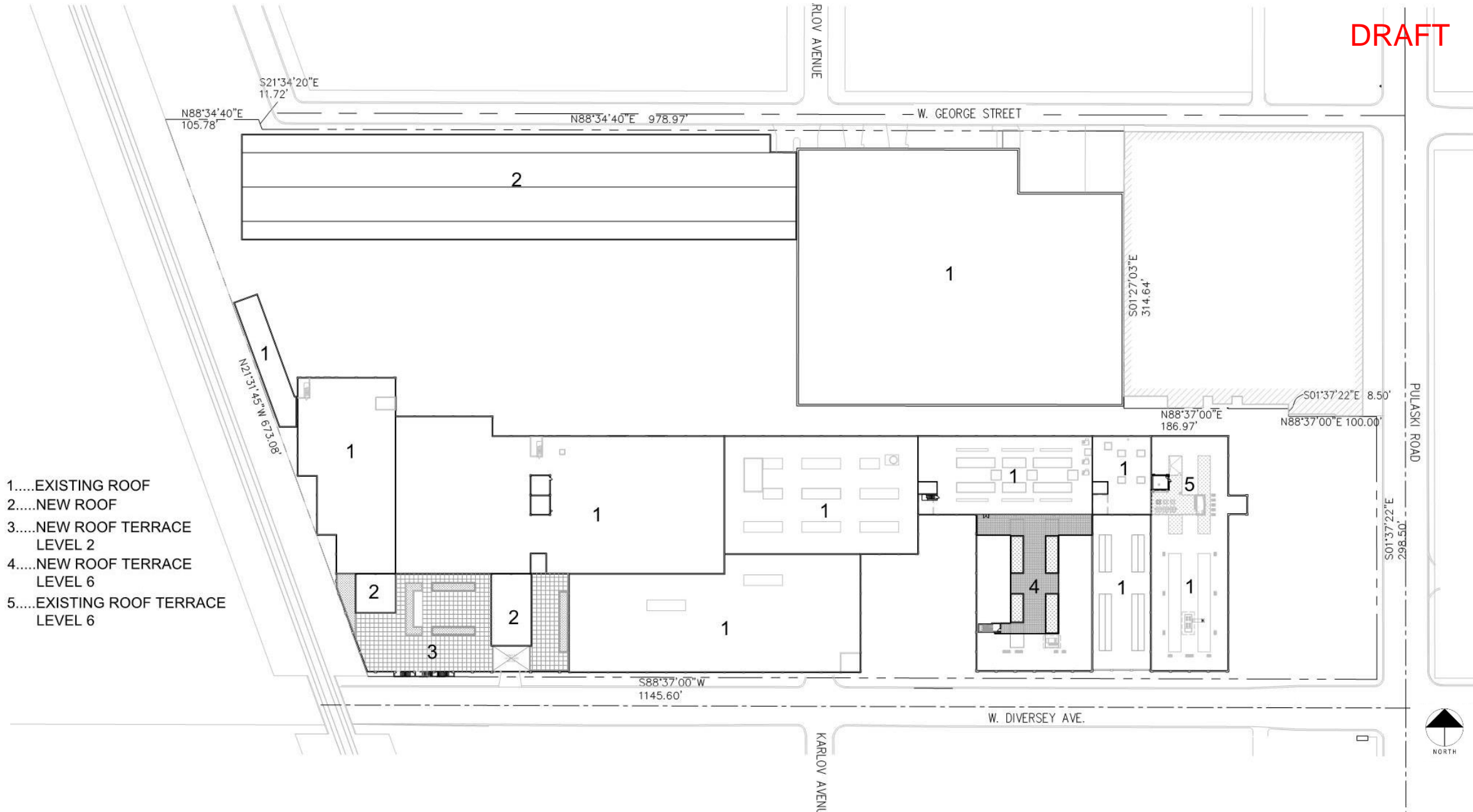


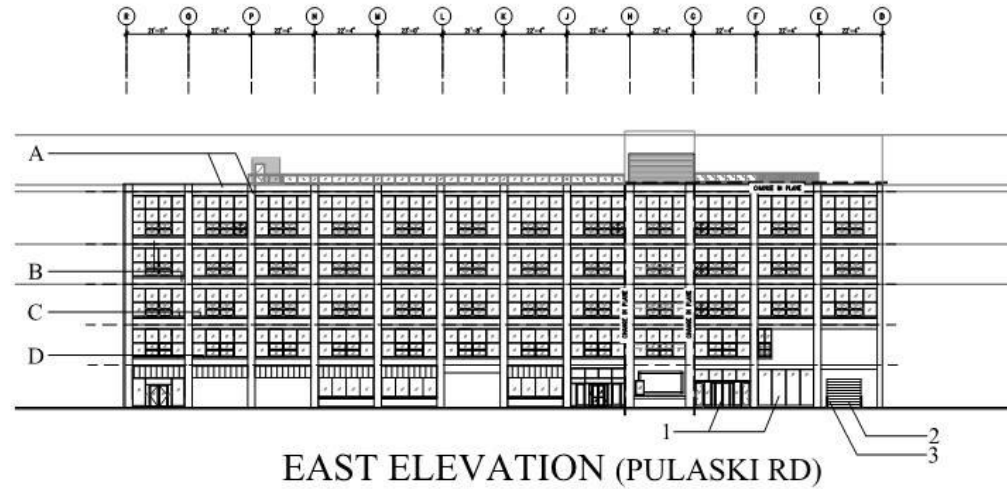






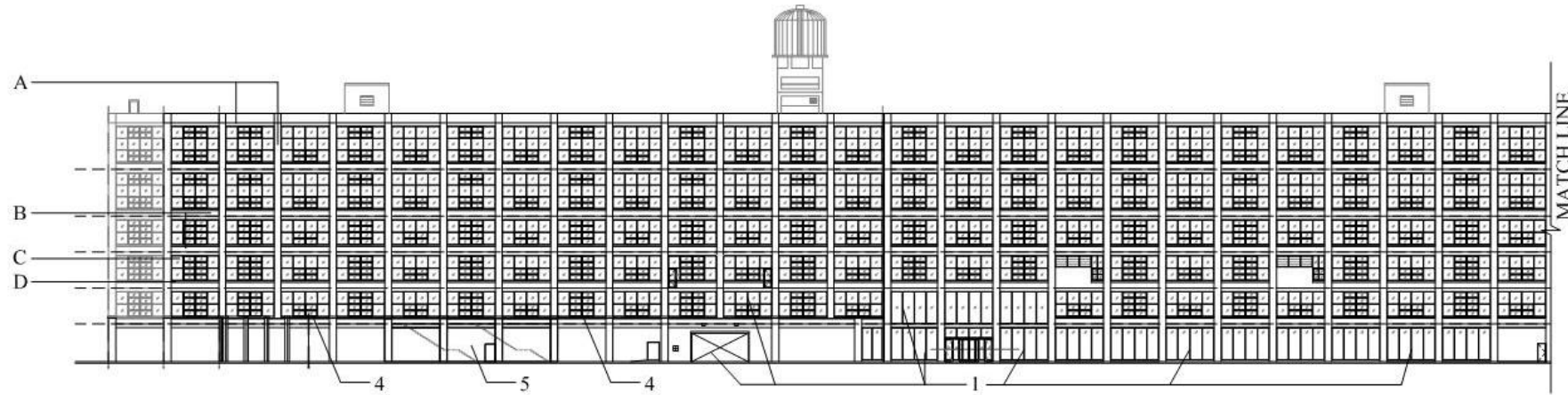




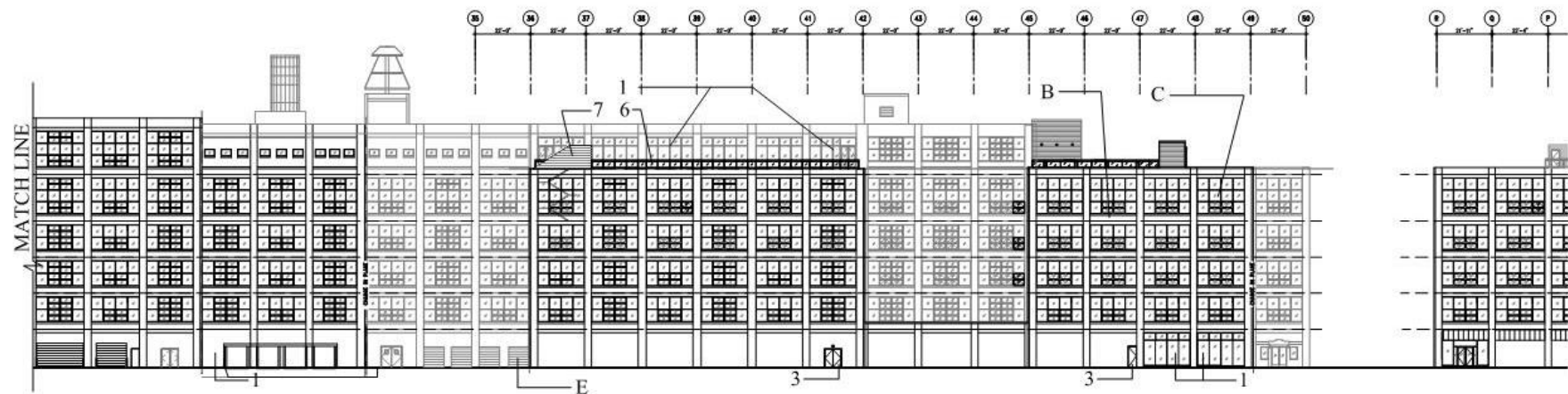


- EXISTING FEATURES**
- A.....PAINTED CONCRETE
 - B.....BRICK VENEER
 - C..... ALUMINUM FRAME WINDOWS
 - D..... CONCRETE SILL (UNPAINTED)
 - E..... LOADING DOCK
 - F..... VENT OR LOUVER

- NEW FEATURES**
- 1..... ALUMINUM STOREFRONT
 - 2..... VEHICULAR ACCESS RAMP
 - 3..... SWING DOOR
 - 4..... OVERHEAD DOOR



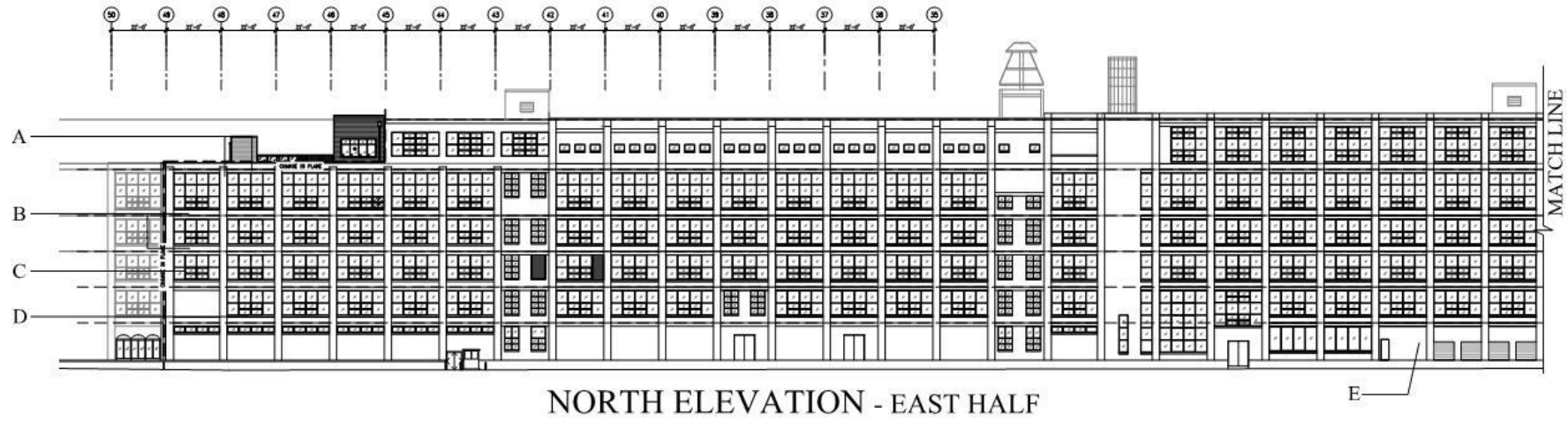
SOUTH ELEVATION - WEST HALF (DIVERSEY AVE)



SOUTH ELEVATION - EAST HALF (DIVERSEY AVE)

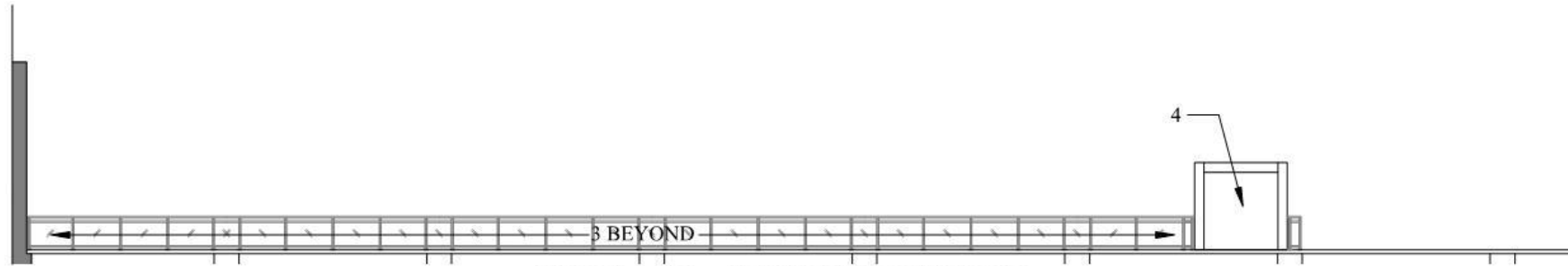
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 - E.....LOADING DOCK
 - F..... VENT OR LOUVER

- NEW FEATURES**
- 1..... ALUMINUM STOREFRONT
 - 2.....VEHICULAR ACCESS RAMP
 - 3.....SWING DOOR
 - 4..... NEW ALUMINUM RAILING.
 - 5..... NEW BRICK AND PRECAST EXIT STAIRS
 - 6..... NEW GLASS AND ALUMINUM RAILING
 - 7..... NEW STAIR ENCLOSURE (CEMENT BOARD)

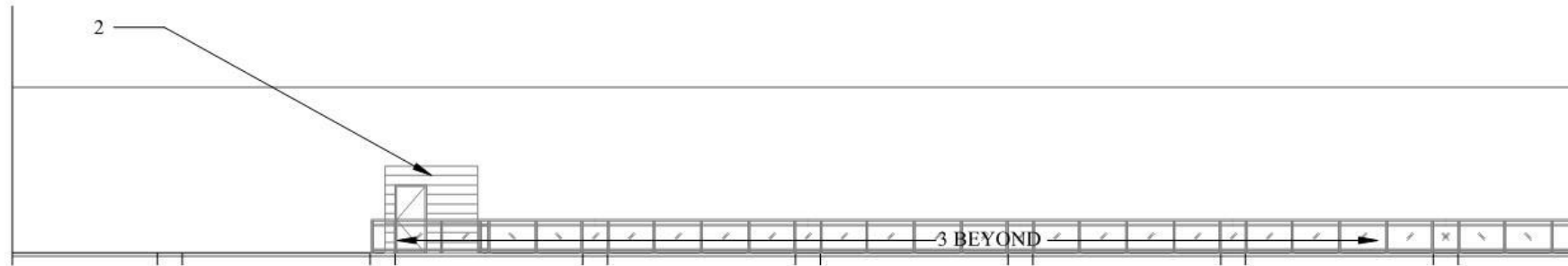


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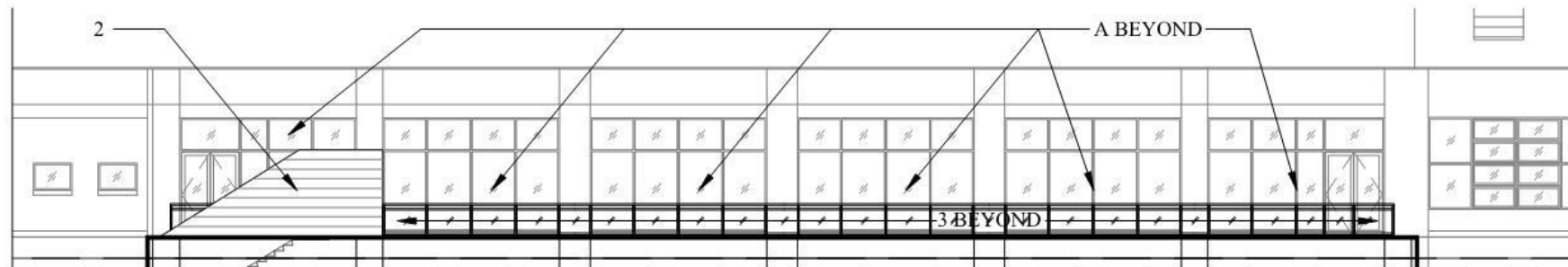
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 - 2..... VEHICULAR ACCESS RAMP
 - 3..... SWING DOOR
 - 4..... OVERHEAD DOOR



TERRACE - WEST ELEVATION - LEVEL 6



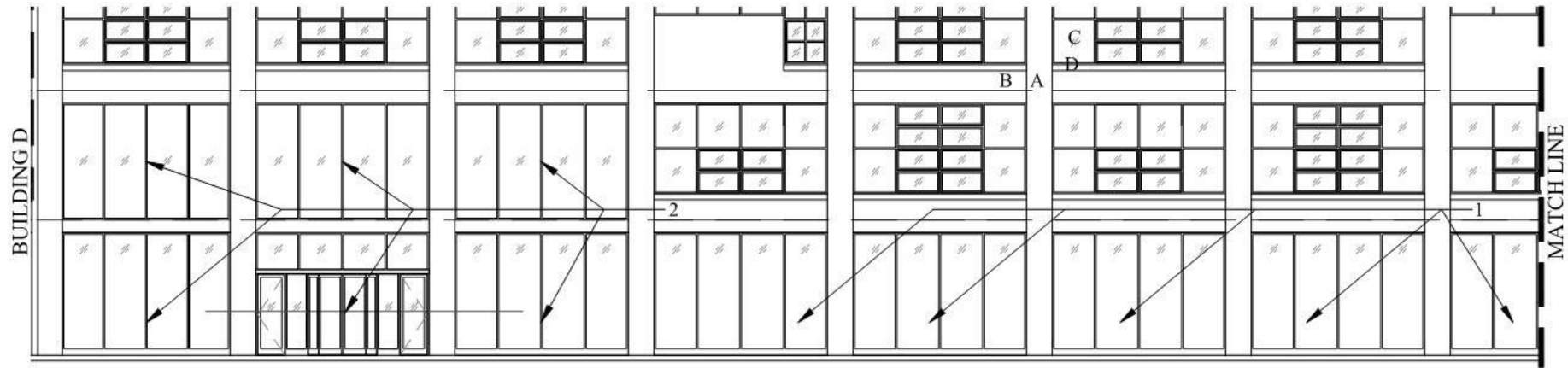
TERRACE - EAST ELEVATION - LEVEL 6



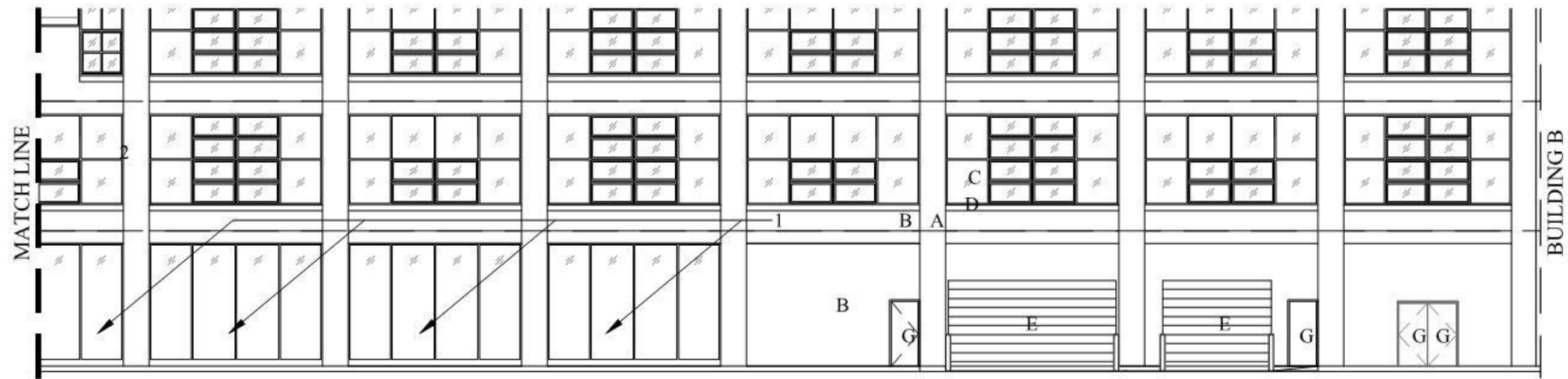
TERRACE - SOUTH ELEVATION - LEVEL 6

- EXISTING FEATURES
- A..... PAINTED CONCRETE
 - B..... BRICK VENEER
 - C..... ALUMINUM FRAME WINDOWS
 - D..... CONCRETE SILL (UNPAINTED)
 - E..... LOADING DOCK
 - F..... VENT OR LOUVER

- NEW FEATURES
- 1..... NEW ALUMINUM AND GLASS STOREFRONT
 - 2..... NEW EXIT STAIR ENCLOSURE CEMENT PANEL
 - 3..... NEW GLASS & ALUMINUM RAILING
 - 4..... NEW SLOPED ROOF



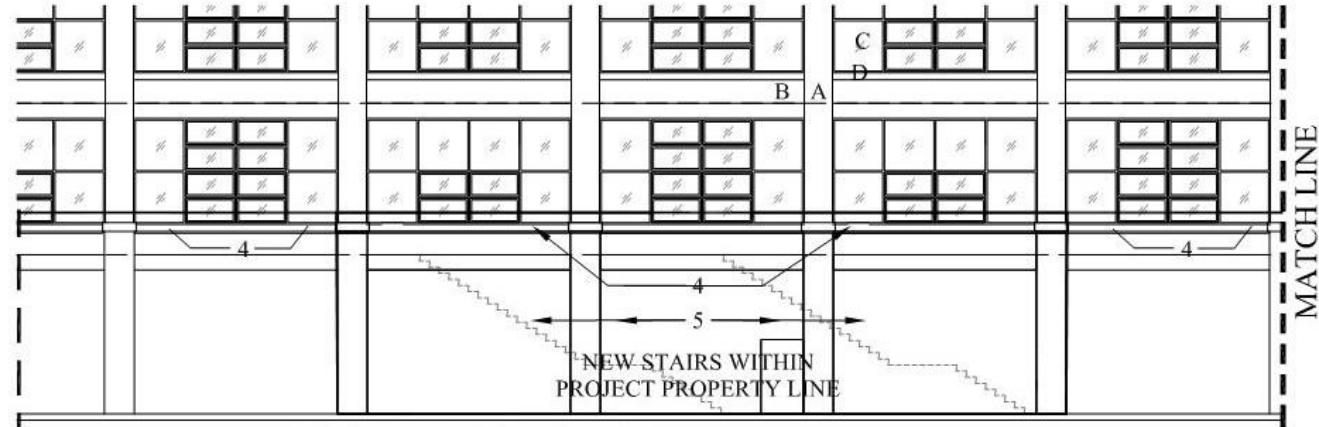
SOUTH ELEVATION - LEVELS 1 & 2 WEST END



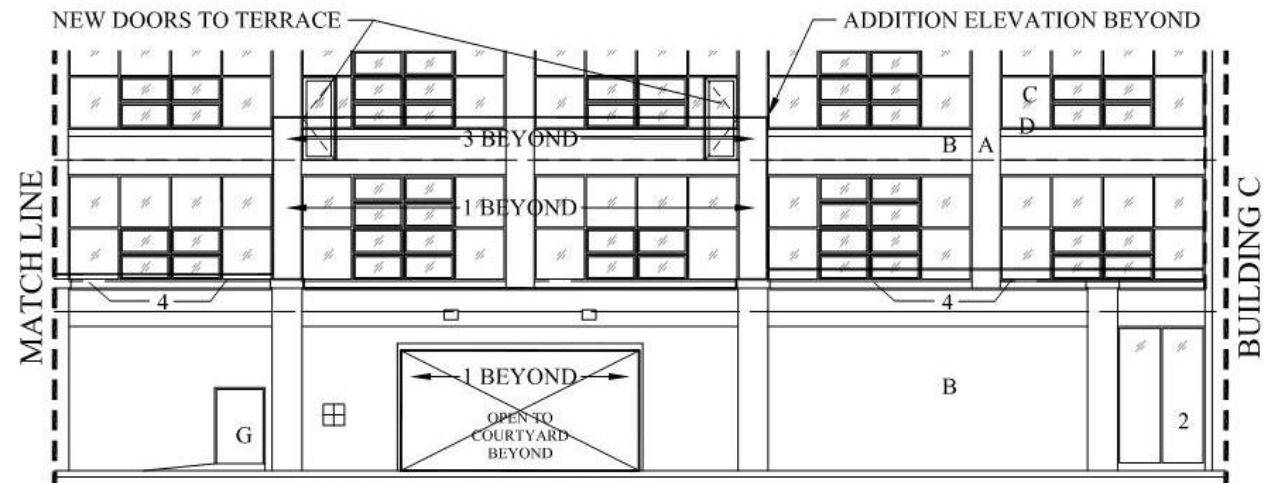
SOUTH ELEVATION - LEVELS 1 & 2 EAST END

- EXISTING FEATURES**
 A.....PAINTED CONCRETE
 B.....BRICK VENEER
 C.....ALUMINUM FRAME WINDOWS
 D.....CONCRETE SILL (UNPAINTED)
 E.....PARKING GARAGE DOOR
 F.....VENT OR LOUVER
 G.....PAINTED METAL DOOR

- NEW FEATURES**
 1..... NEW ALUMINUM AND GLASS STOREFRONT
 2..... NEW PREVIOUSLY PERMITTED ALUMINUM AND GLASS STOREFRONT. PERMIT #100809606.



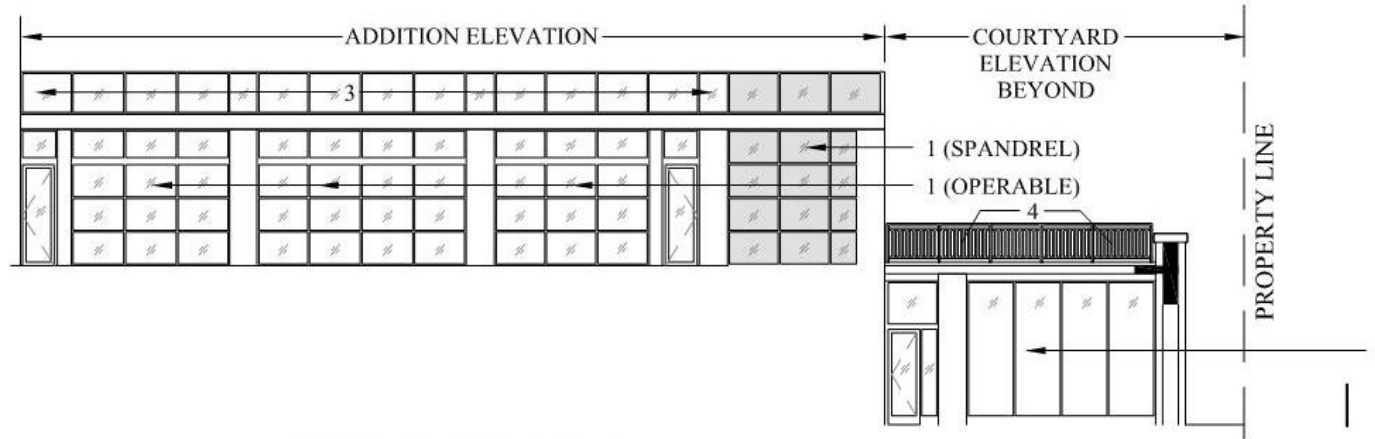
SOUTH ELEVATION - LEVELS 1 & 2 WEST END



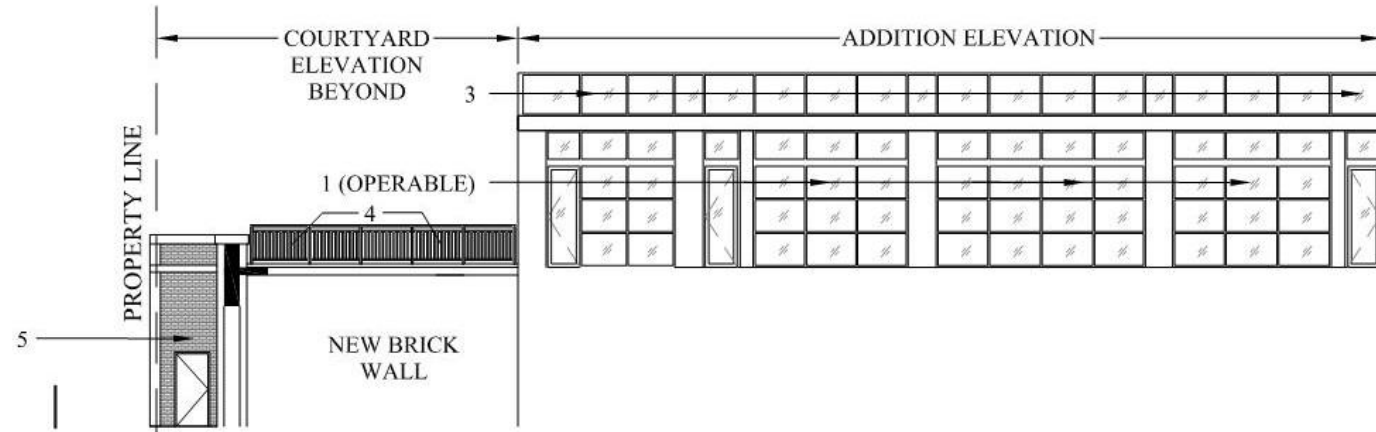
SOUTH ELEVATION - LEVELS 1 & 2 EAST END

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 3..... NEW ALUMINUM AND GLASS RAILING
 4..... NEW ALUMINUM RAILING.
 5..... NEW BRICK AND PRECAST EXIT STAIRS



WEST ELEVATION - LEVELS 1 & 2 AT ADDITION



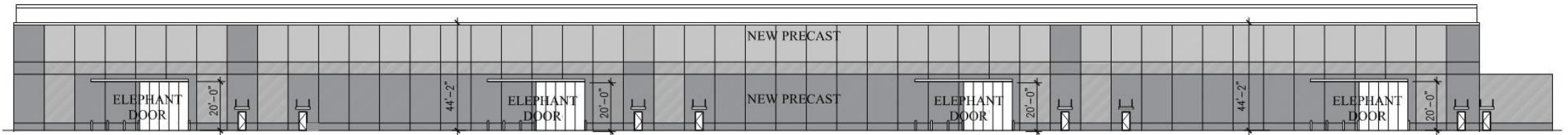
SECTION ELEVATION - LEVELS 1 & 2 AT ADDITION

- EXISTING FEATURES**
 A.....PAINTED CONCRETE
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 C..... ALUMINUM FRAME WINDOWS
 D.....CONCRETE SILL (UNPAINTED)
 E..... PARKING GARAGE DOOR
 F..... VENT OR LOUVER
 G.....PAINTED METAL DOOR

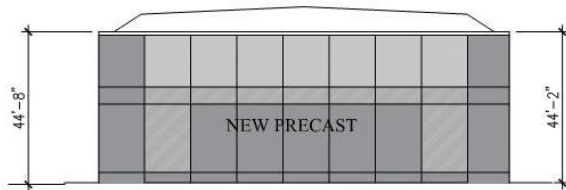
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 3..... NEW ALUMINUM AND GLASS RAILING
 4..... NEW ALUMINUM RAILING.
 5..... NEW BRICK AND PRECAST EXIT STAIRS



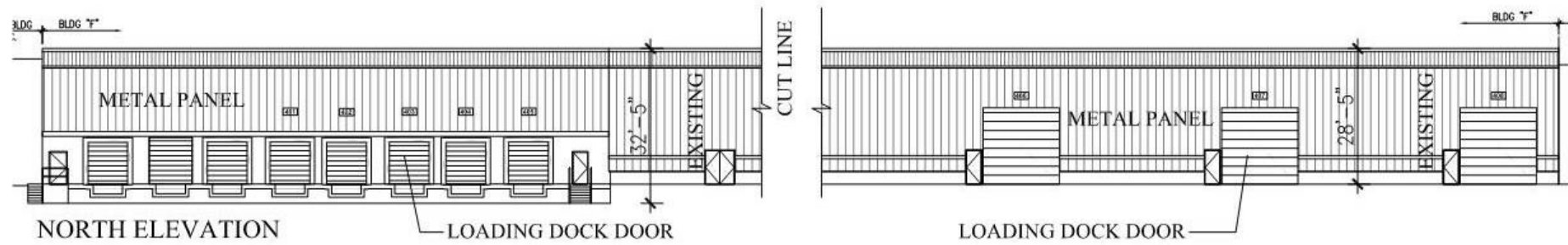
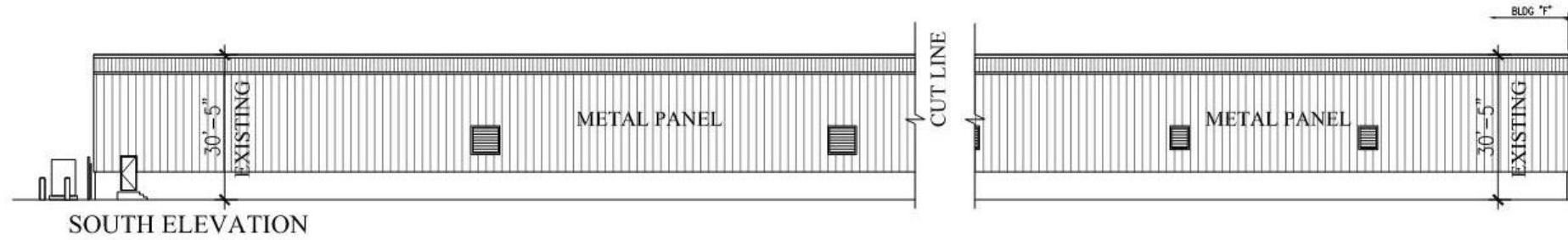
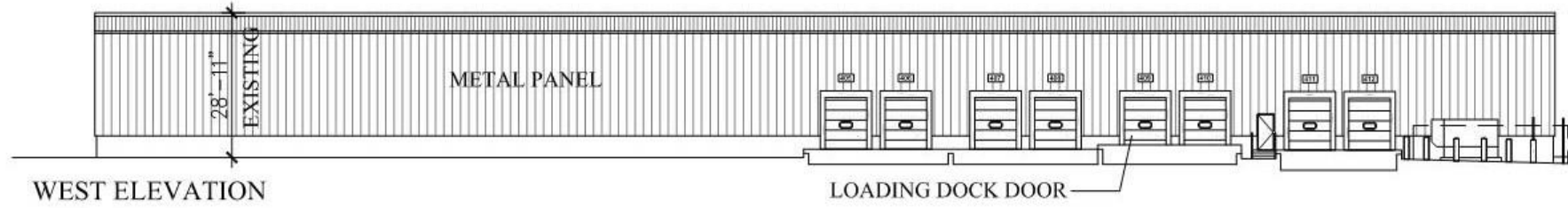
NORTH ELEVATION -

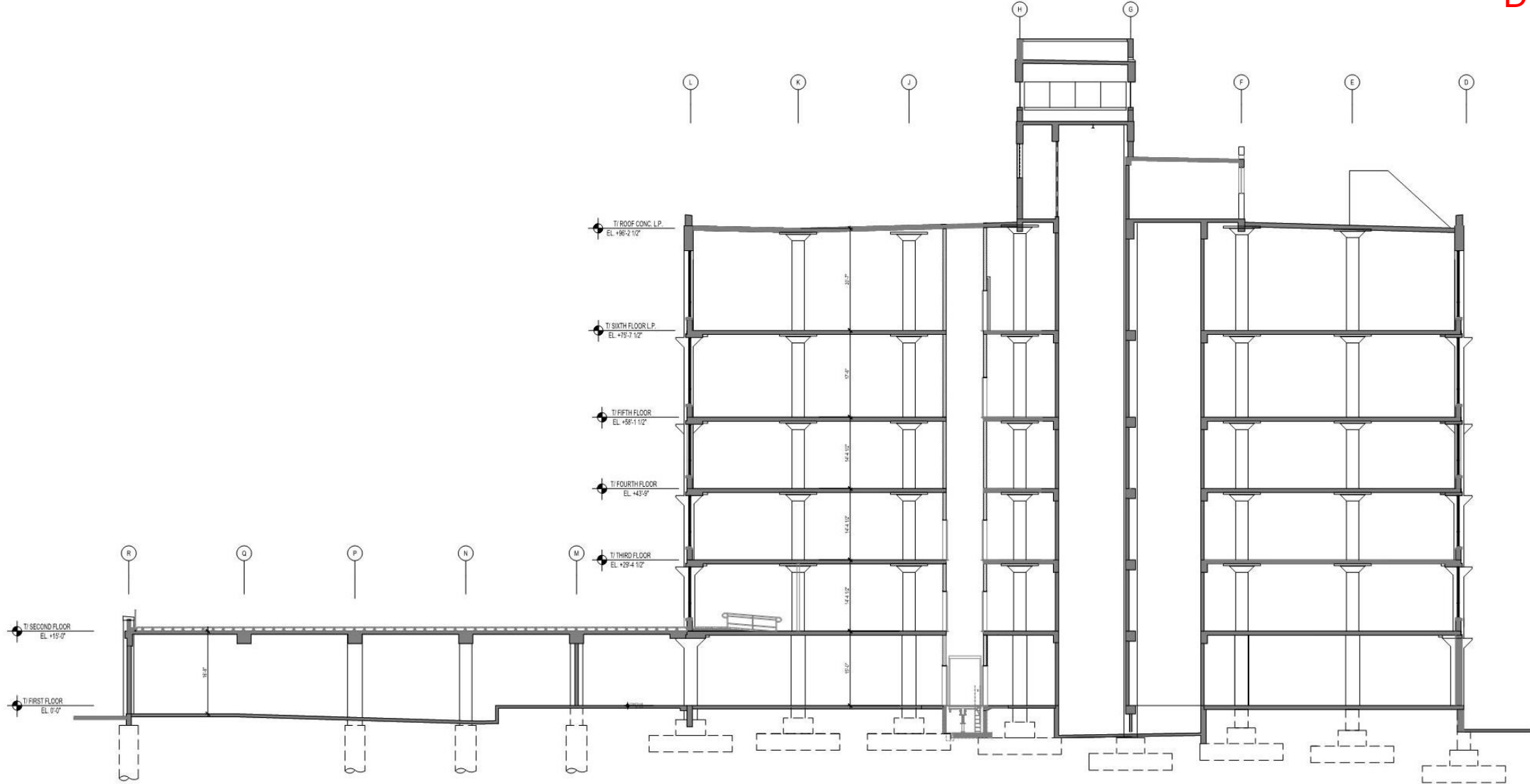


SOUTH ELEVATION

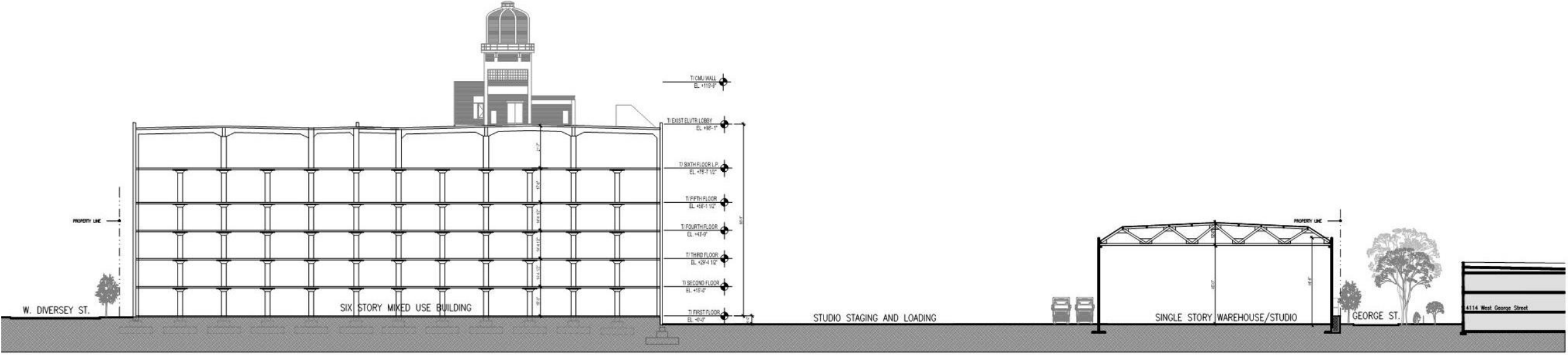


WEST ELEVATION





TYPICAL BUILDING SECTION - VIEW TOWARDS WEST



SITE SECTION VIEW TOWARDS WEST

Public Way Comments

1. Based on the proposed text edits to the PD statements “Day Care” and “Children’s Play Center” will now be allowed uses in Subareas A, B, D, E, and F. No stopping or standing is allowed on W. Diversey Avenue or W. George Street at any time. No stopping or standing is allowed on N. Pulaski Road during the morning rush hour (M-F 7-9AM). Any drop-off or pick-up for future day care or similar uses must be accommodated entirely on-site. No on-street loading zones will be allowed on W. Diversey Avenue or W. George Street.
2. PRC Site plan approval does not constitute approval of any grants of privilege, vacations or dedications of public right-of-way, on-street loading or standing zones, or sidewalk cafes. Each of these require a separate application and approval.
 - a. Loading/Standing Zones: Proposed on-street loading zones or standing zones must be coordinated with the ward office and applied for through a separate CDOT application.
For more information: https://www.chicago.gov/city/en/depts/cdot/provdrs/traffic_signals_andstreetlights/svcs/loading-zones-and-standing-zones.html
 - b. Grants of Privilege: Any canopy, awning, or any other feature that extends over, under, or is on the public way, requires a Public Way Use Permit (Grant of Privilege) issued by the Department of Business Affairs and Consumer Protection (BACP), and reviewed and approved by CDOT. All exterior doors must be recessed in alcoves. Door swings over or into the public way are not allowed. For more information: https://www.chicago.gov/city/en/depts/bacp/provdrs/public_way.html
 - c. R.O.W. Vacation or Dedication: PRC plan approval and the ultimate construction of a proposed development are conditional upon legal recordation of any necessary public way vacations, dedications (or subdivisions containing the same) as required, vetted and approved by Maps & Plats. All new proposed roads, alleys, and sidewalks are to be dedicated as public way unless explicitly labelled on the final site plan.
 - d. A draft plat must be approved by CDOT’s Maps & Plats division, prior to the filing of a PD application with Zoning, for any proposed public right-of-way adjustments.
For more information: https://www.chicago.gov/city/en/depts/cdot/supp_info/maps_and_plats_kiosk.html
 - e. Sidewalk Café: Sidewalk café permits are issued by the Department of Business Affairs and Consumer Protection (BACP).
For more information: https://www.chicago.gov/city/en/depts/bacp/supp_info/sidewalkcafefullyear.html
3. Uplighting in the public way is prohibited.
4. After July 31, 2020, if the project includes new construction of a multi-unit residential building consisting of twenty-four (24) or more dwelling units where on-site parking is provided, OR includes new construction providing fifty (50) or more on-site parking spaces to serve non-residential uses, then the project shall specify the installation of electric vehicle supply equipment infrastructure to support the installation or future installation of electric vehicle supply equipment for at least two parking spaces.

Traffic/Site plan comments

1. Install a stop sign at driveway access on Diversey facing outbound traffic, within private property.
2. Refresh pavement markings on Diversey from Pulaski and Karlov, including crosswalk markings, lane lines, and symbols. Show on site plan with note to restripe.
3. To highlight the bike lane on Diversey at Karlov, install green conflict markings. Show on site plan.
4. Install bike corrals/racks on sidewalk.



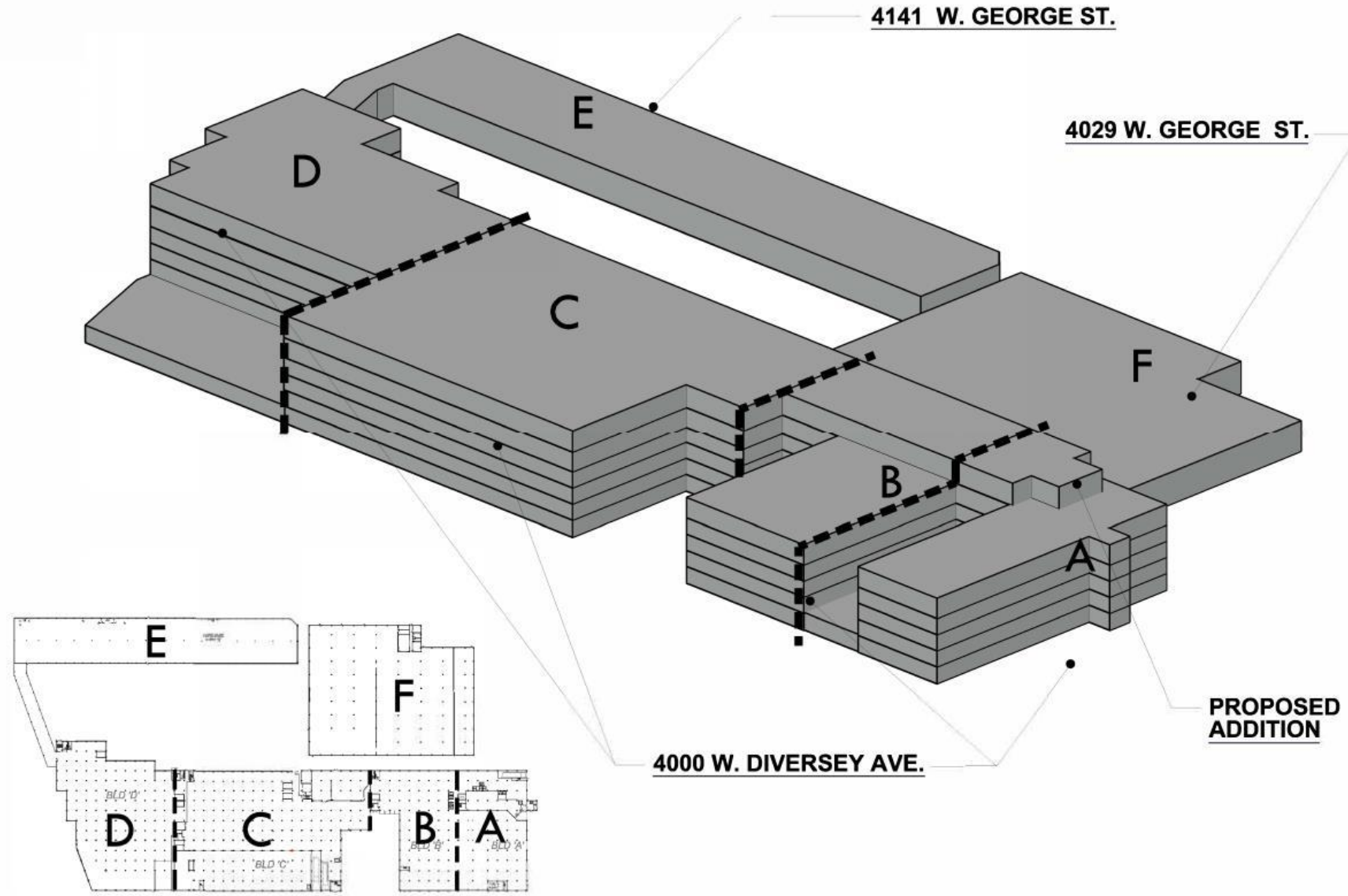
PROJECT REVIEW COMMITTEE COMMENTS

Project Description: Knickpoint (PD1261)
 Location: 4800 W. Diversey
 Review Date: 11/24/2020

Choose one: Approved Not approved

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 - d. Sidewalk Café: Sidewalk café permits are issued by the Department of Business Affairs and Consumer Protection (BACP).

DRAFT



- PEDESTRIAN AND VEHICULAR ACCESS HAS BEEN IMPROVED TO A SAFER AND MORE ATTRACTIVE CONDITION.
- THE EXISTING BUILDING HOLDS THE EDGE ALONG THE STREET PROVIDING A STRONG URBAN PRESENCE AND AN ICONIC IMAGE FOR THE NEIGHBORHOOD.
- ADDITIONAL GLAZING HAS BEEN PROVIDED TO MINIMIZE BLANK WALLS ALONG DIVERSEY AVE.
- THE BASE OF THE DEVELOPMENT IS LINED WITH ACTIVE USES AT ALL BUILDING FRONTAGES PROMOTING A SAFE AND ACTIVE PUBLIC REALM.
- THE PROJECT RETAINS THE EXISTING BUILDING AND UPGRADES ITS CONNECTION TO THE STREET AND SIDEWALK.



1. STREET VIEW - BLDG E



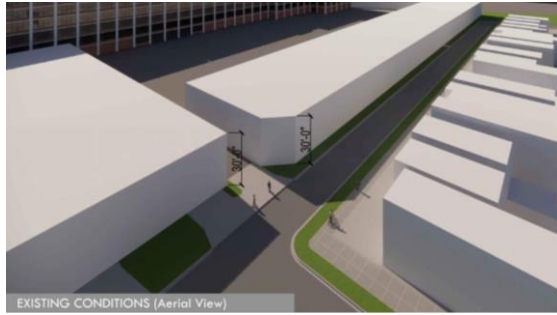
2. AERIAL VIEW - BLDG E



OVERALL VIEW - BLDG E



EXISTING CONDITIONS (Street View)



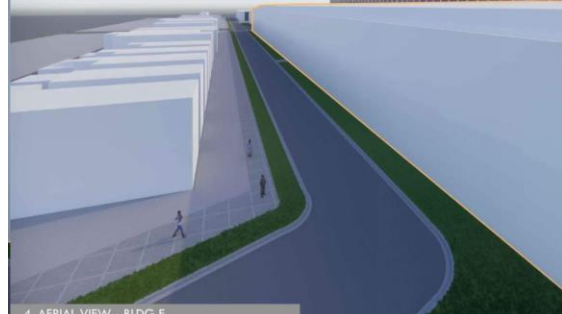
EXISTING CONDITIONS (Aerial View)



EXISTING CONDITIONS (OVERALL VIEW)



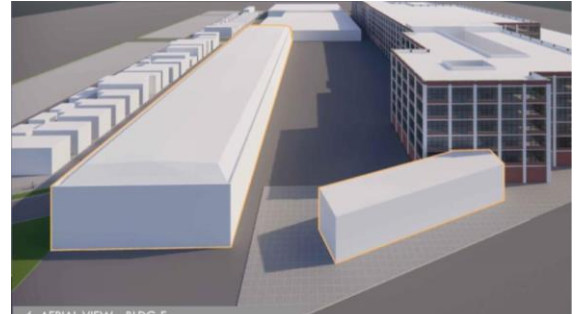
3. STREET VIEW - BLDG E



4. AERIAL VIEW - BLDG E

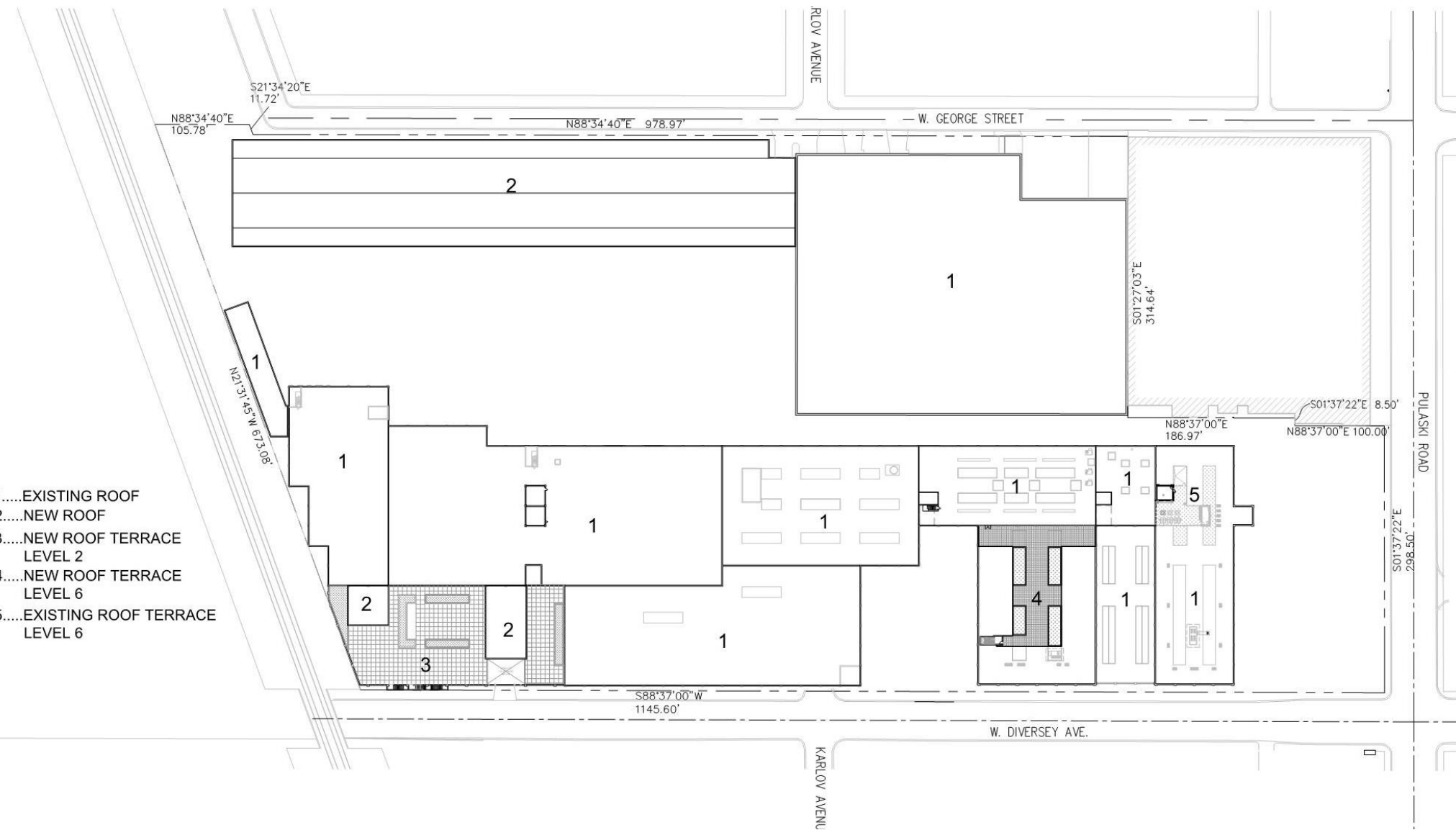


5. STREET VIEW - BASE CAMP / BLDG E



6. AERIAL VIEW - BLDG E

- INSET, OPEN-AIR COURTYARD PROVIDED NEAR BUILDING'S DIVERSEY ENTRY TO PROVIDE ADEQUATE, INVITING, USABLE AND ACCESSIBLE SPACE FOR VISITORS AND RESIDENTS.
- RESIDENTIAL ROOFDECK AMMENITIY SPACE PROVIDED ON A6 (A5 ROOF).
- OFFICE ROOFTOP AMMENITY SPACE PROVIDED ON B6 (B5 ROOF).
- COMMERCIAL / PUBLIC ROOFTDECK AND LANDSCAPE AMMENITY SPACE PROVIDED ON D2 (D1 ROOF) WITH STAIR ACCESS TO DIVERSEY AVENUE AND MAIN BUILDING ENTRANCE AND LOBBY.



- 1.....EXISTING ROOF
- 2.....NEW ROOF
- 3.....NEW ROOF TERRACE LEVEL 2
- 4.....NEW ROOF TERRACE LEVEL 6
- 5.....EXISTING ROOF TERRACE LEVEL 6

OPEN SPACE + LANDSCAPING



Street views from Diversey ave.



Southwest View



BUILDING B STAIR POP-UP – SW VIEW



LEVEL 6 EVENT TERRACE - SE VIEW

Ownership plans to comply with the Chicago sustainable Development Strategy (100 points for any new buildings and between 25 to 50 points for renovations based on scope) with the following initiatives:

- Exceed Energy Code
- Exceed Stormwater Ordinance by 25%
- Indoor Water Use Reduction 25%
- Bike Parking
- CTA Digital Display
- 80% Waste Diversion

STORMWATER MANAGEMENT ORDINANCE COMPLIANCE

- The project will comply with the Stormwater Management Ordinance

Identify All Public Benefits

**Such as Jobs, Public Amenities or Programming, Neighborhood Improvements,
any bonus payments, open space fees, or conversion fees**

The City's Participation Goals are:

26% Participation from Qualified Minority Business Enterprises

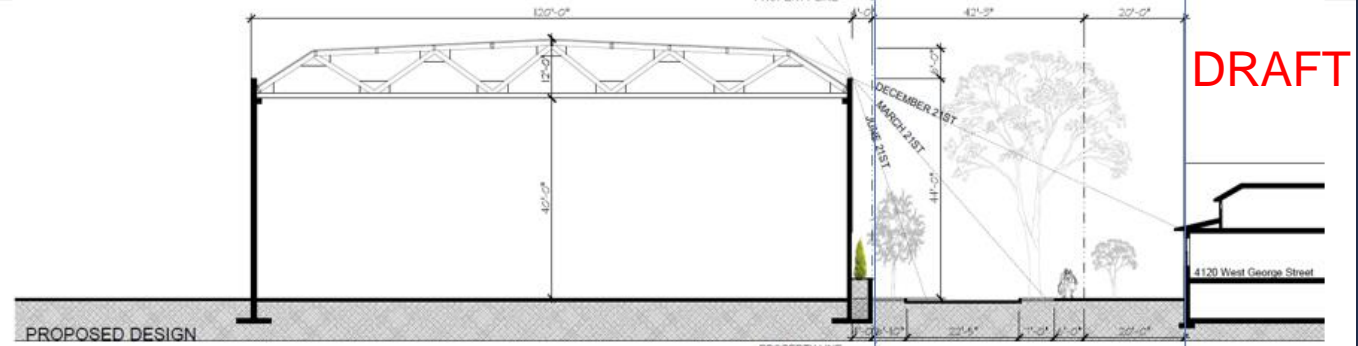
6% Participation from Qualified Women Business Enterprises

50% Participation from Chicago Residents

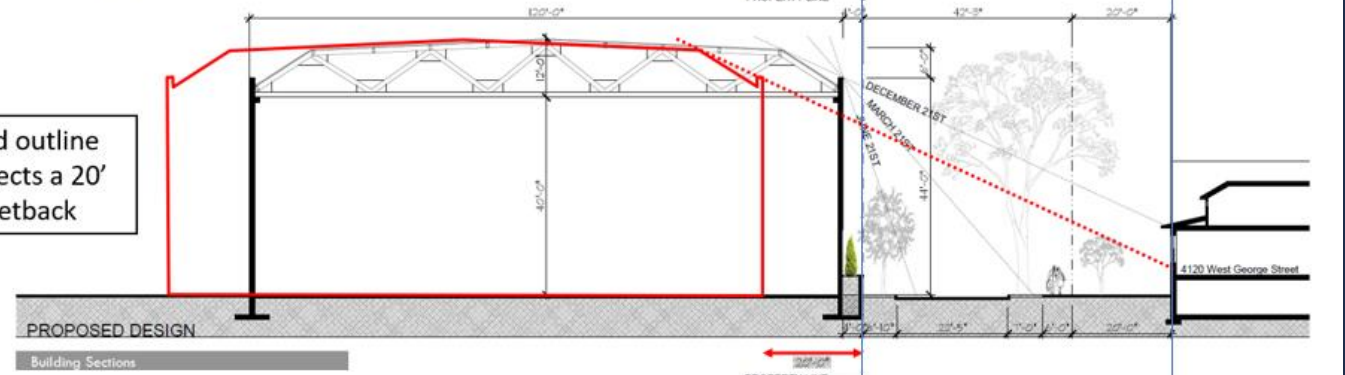
<https://www.chicago.gov/city/en/depts/dps/provdrs/cert/svcs/certdirectory.html>



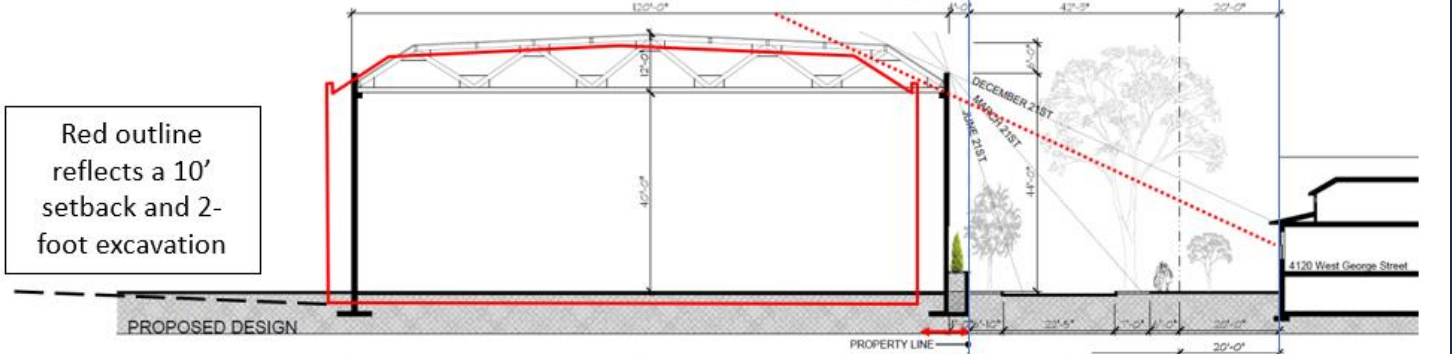
STUDIES



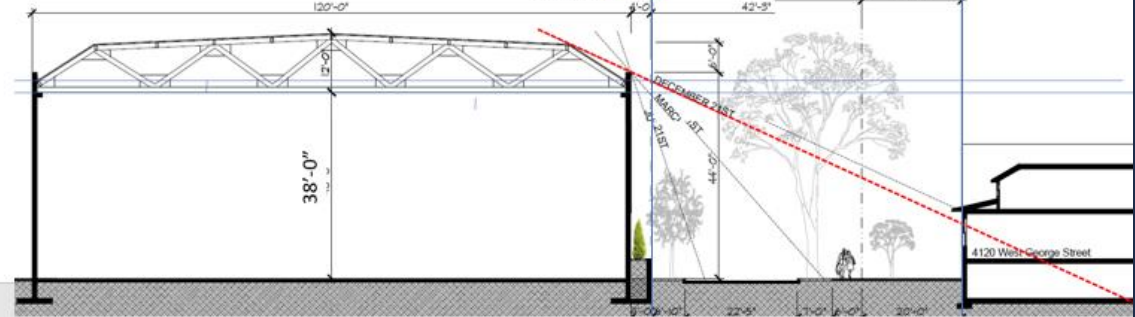
Red outline reflects a 20' setback



Red outline reflects a 10' setback and 2-foot excavation



Red outline reflects a 38' interior ceiling height



DPD Recommendations