



CHICAGO PLAN COMMISSION

Department of Planning and Development

IMANI VILLAGE SENIOR RESIDENCES
9633 S COTTAGE GROVE AVE (8TH WARD)
IMANI SENIOR VILLAGE, LLC

12/16/2021

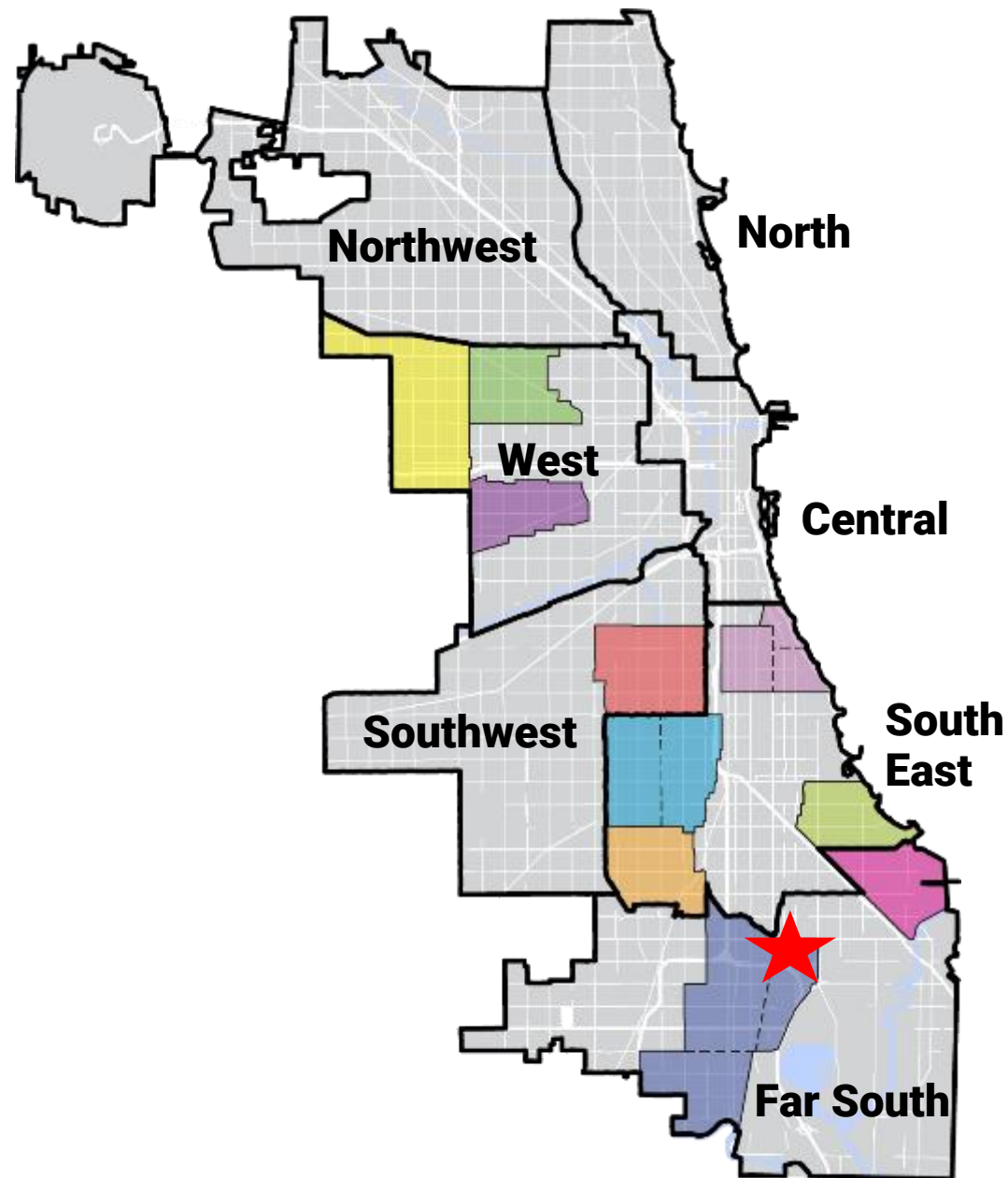
Community Area Profile

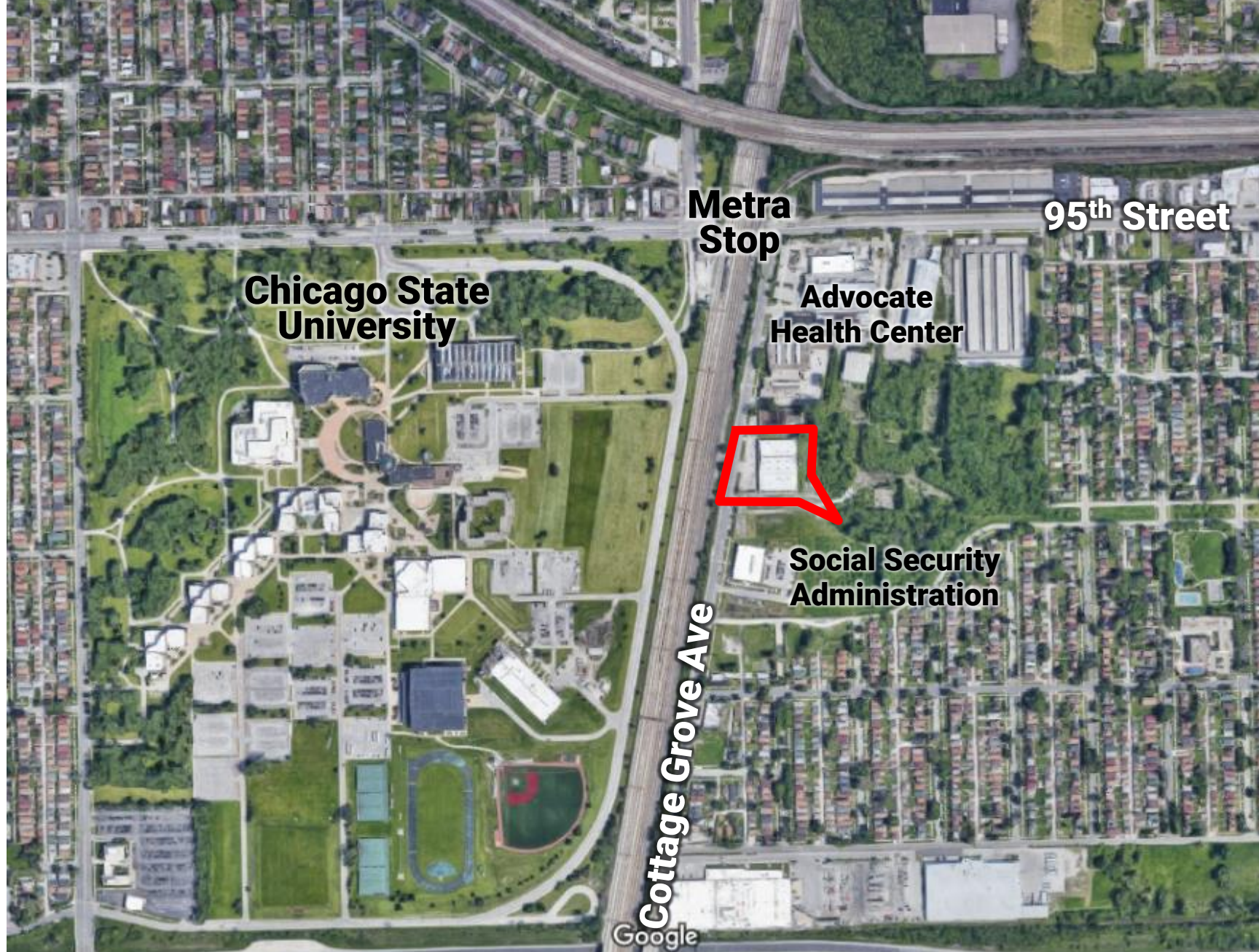
Community Area Information

- Pullman Community Area
- Far South Region

Demographics

- Total Population: 6,820
- Average Household Size: 2.3
- Median Age: 40.7
- 34 Years Old or Younger: 2,897
- Median Income: \$43,539





BURNSIDE INDUSTRIAL CORRIDOR





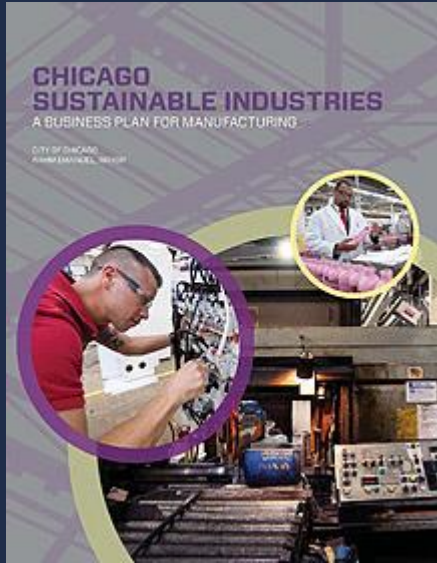
95th Street

Cottage Grove Ave

INDUSTRIAL CORRIDOR

12/16/2021

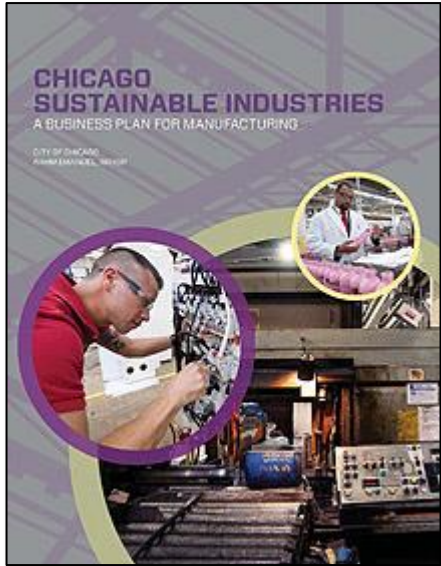
★ Planning Context



Chicago Sustainable Industries

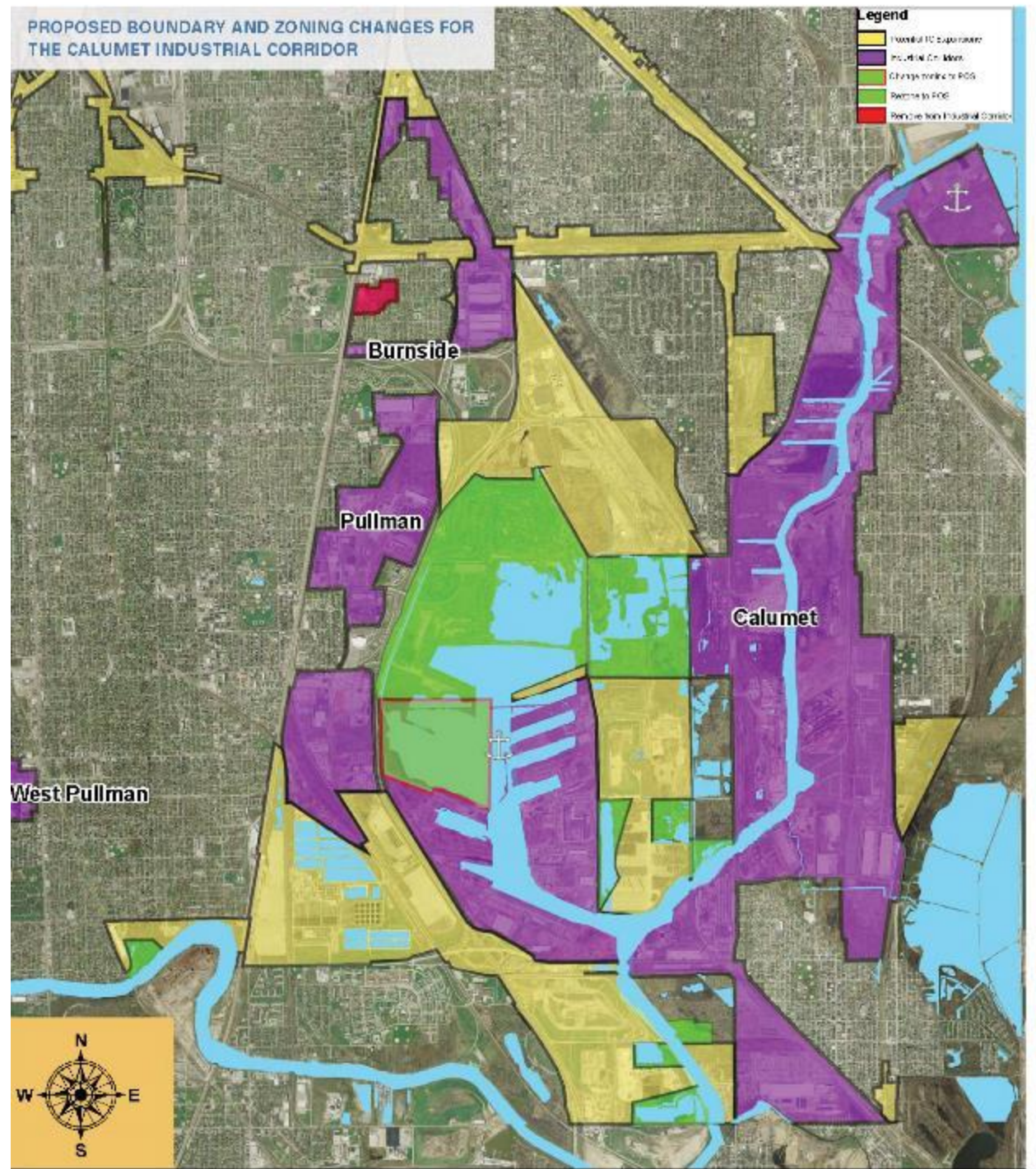
- Adopted by Chicago Plan Commission in November 2013
- Department of Planning and Development and industry leaders
- Goals:
 - Examine the effectiveness of the planned manufacturing districts as stipulated by the Chicago Zoning Ordinance and **review industrial corridor boundaries to determine if amendments are needed**
 - Set infrastructure priorities to reflect key industry goals
 - Identify business service priorities by sector, geographic and/or other focuses
 - Specify performance objectives for meeting the short and long-term business and workforce program goals
 - Design publicly accessible interactive data base for industrial properties, using the 2011 land use and company survey

★ Planning Context



Legend

- Industrial Corridors
- Potential IC Expansions
- Remove IC and Zone to POS
- Rezone to POS
- Remove from Industrial Corridor





STREET VIEW FROM COTTAGE GROVE



WEST AERIAL



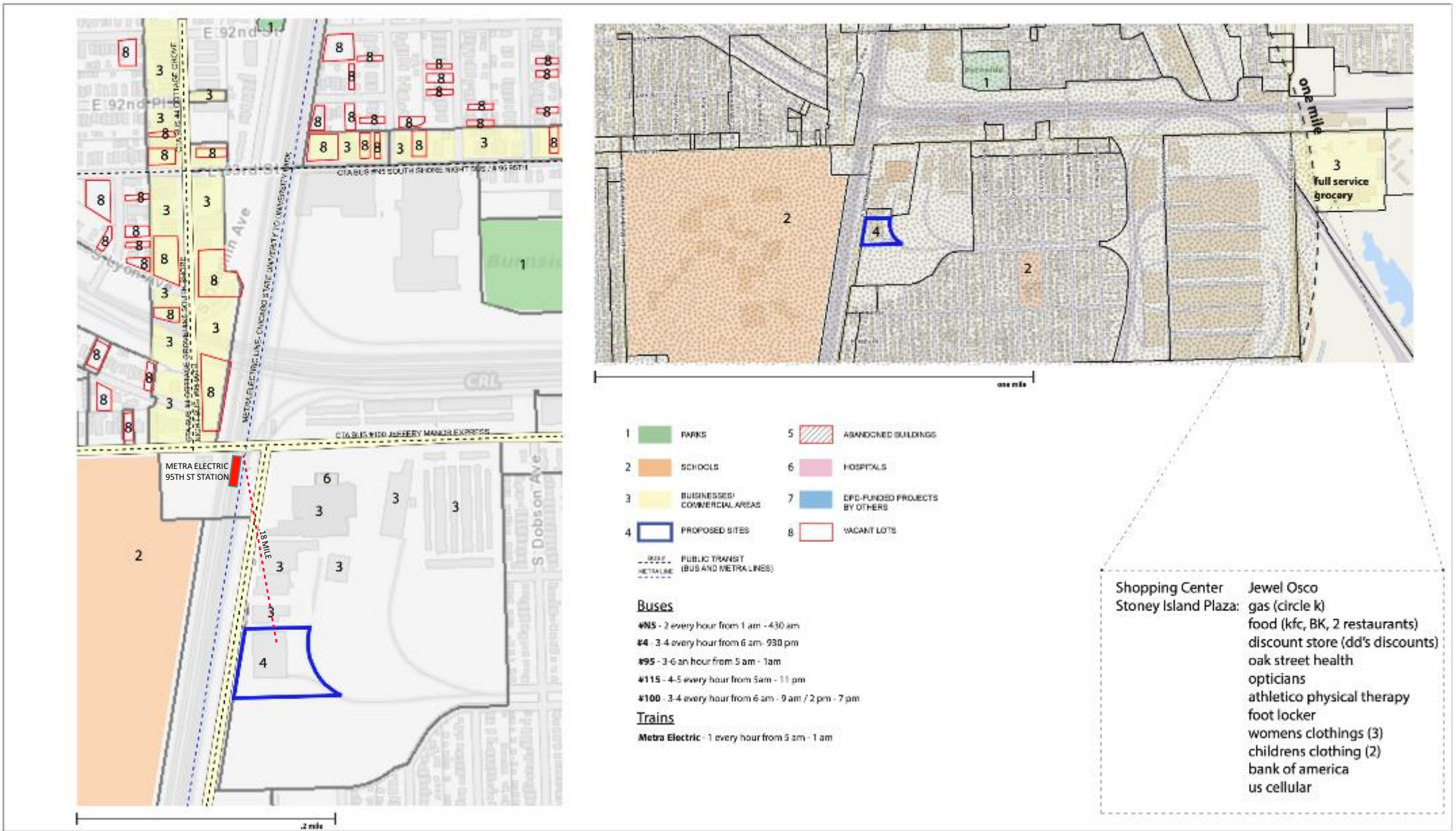
EAST AERIAL

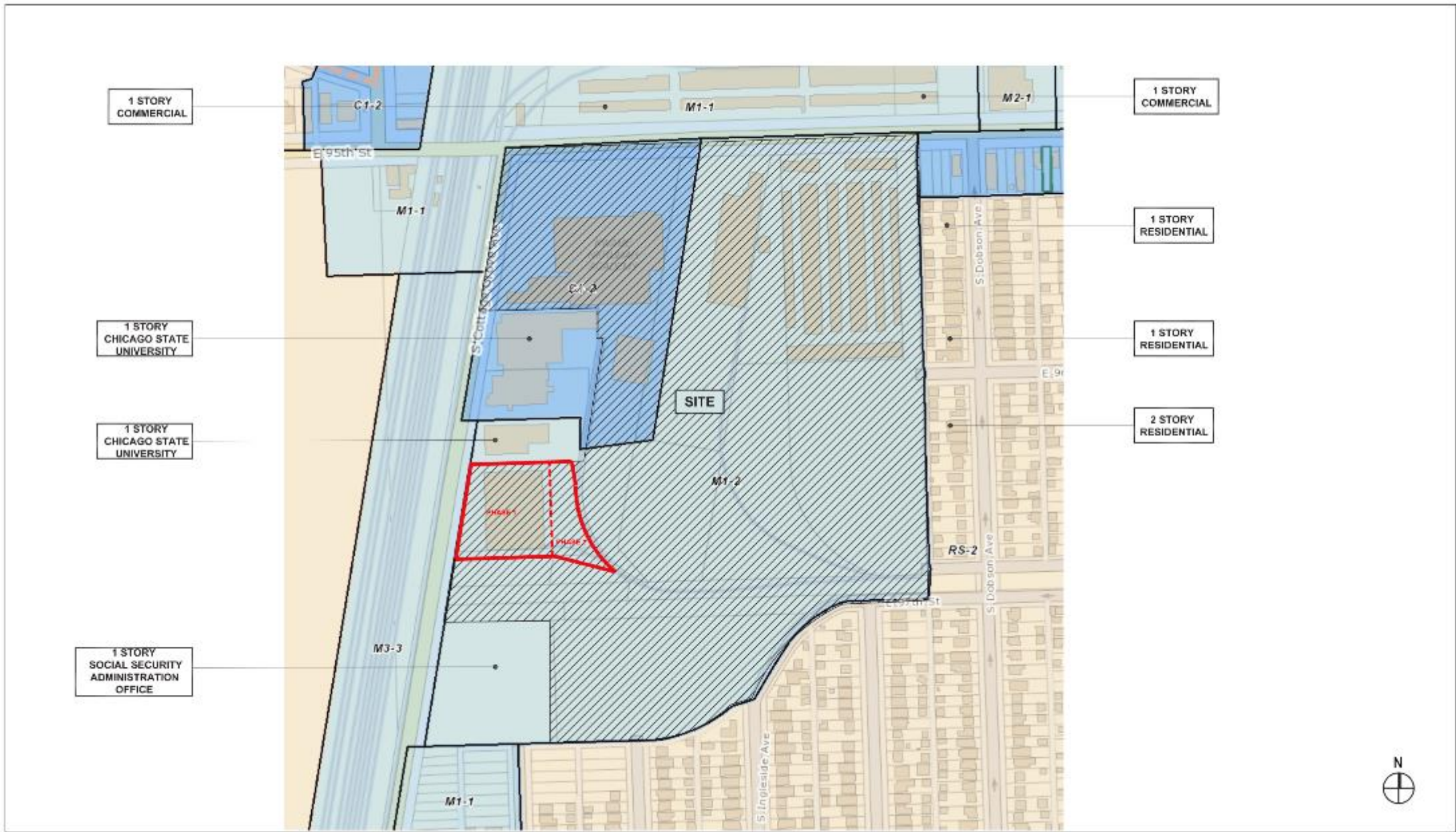


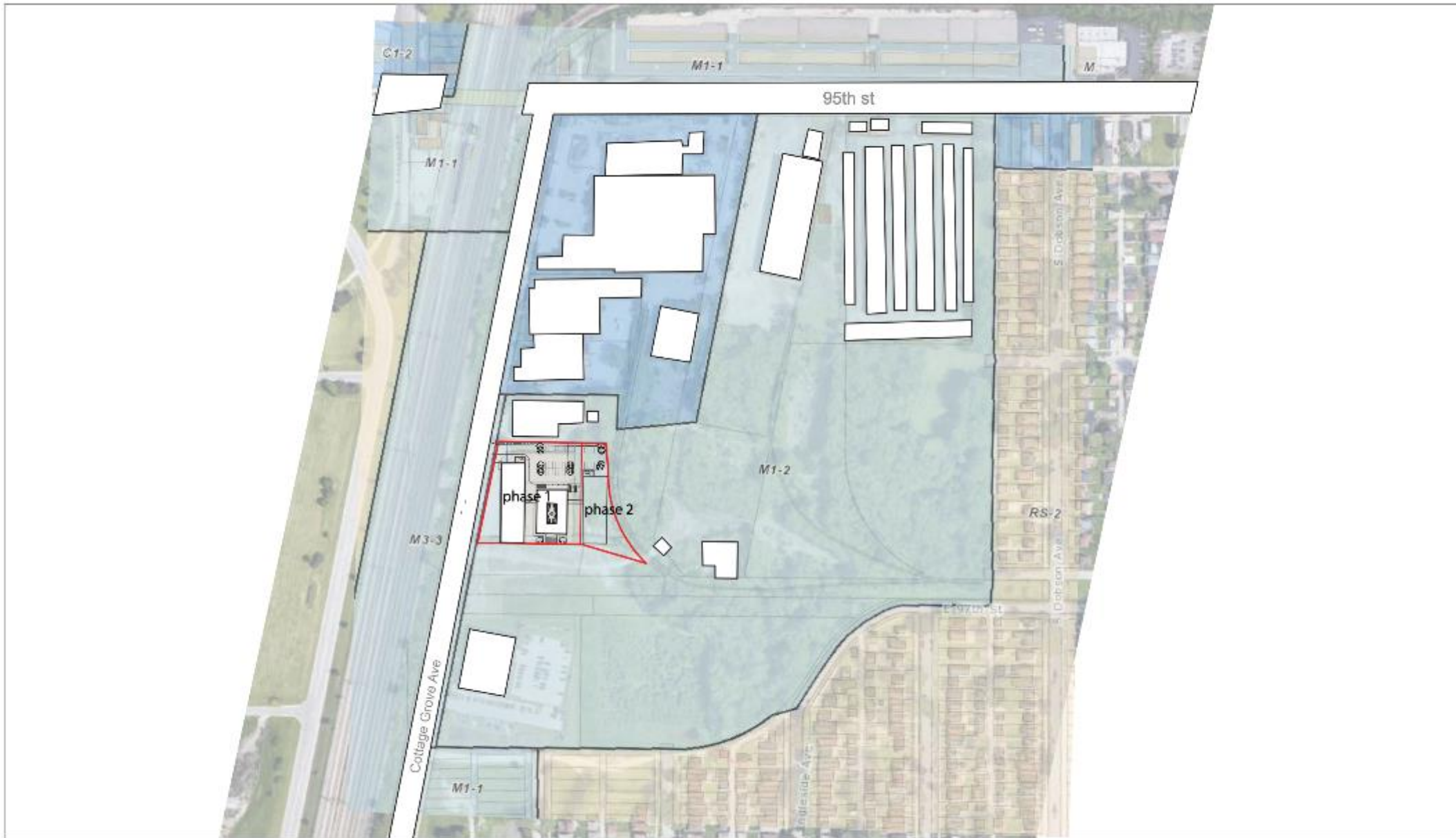
SOUTH AERIAL



NORTH AERIAL









Cottage Grove Ave



AERIAL VIEW FROM NORTH

12/16/2021

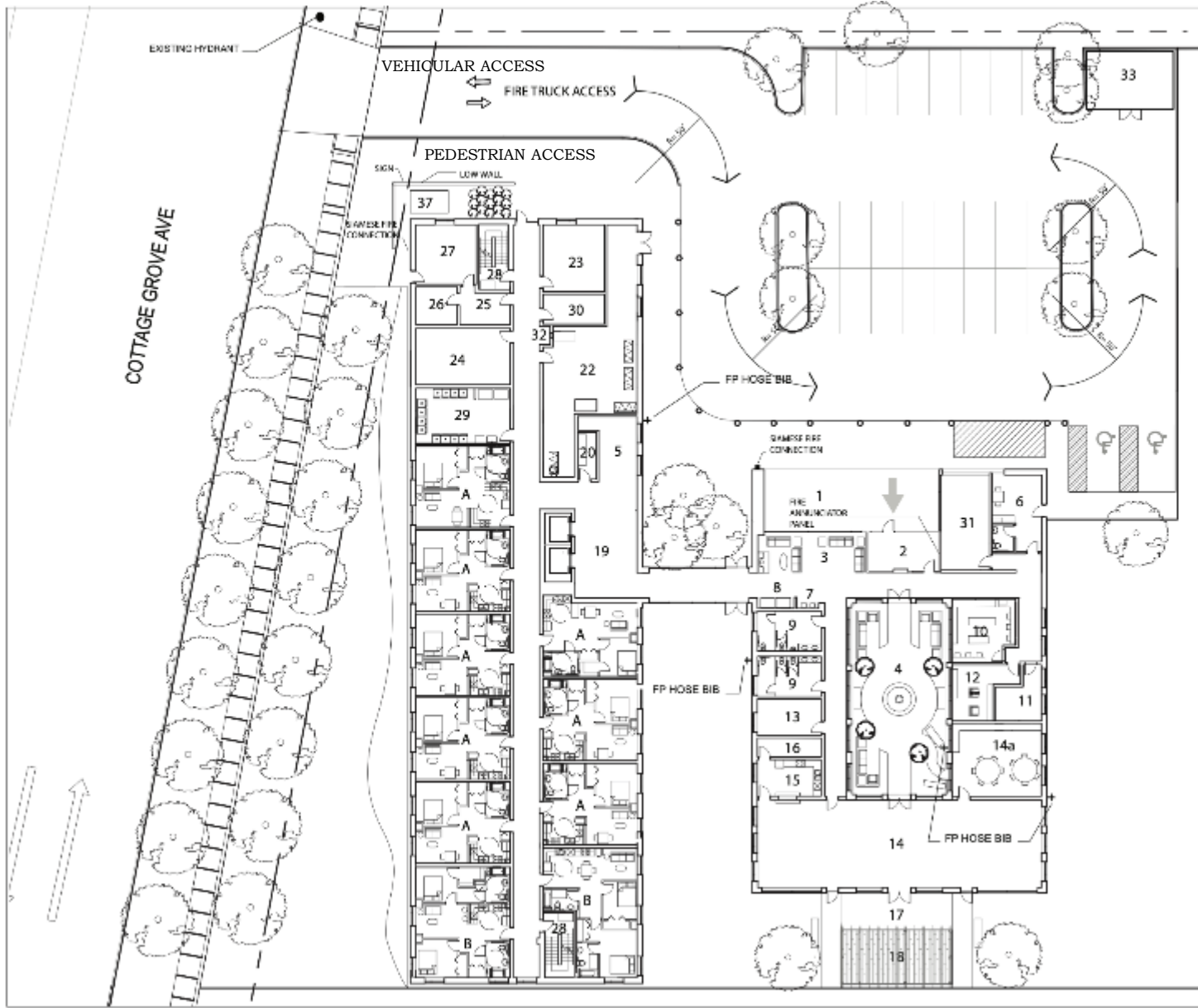


AERIAL VIEW FROM SOUTH

12/16/2021

Project Timeline + Community Outreach

- **Date of PD Filing:** May 26, 2021
- **Dates of Community Meetings:** June 8th 9th 17 2021
- **Feedback Based Project Changes:** None
- **Before and After Renderings:** Not applicable



Legends

Amenities

- 1- SHELTERED ENTRY
- 2- VESTIBULE
- 3- LOBBY
- 4- COURTYARD
- 5- MAIL ROOM
- 6- SECURITY FACILITIES
- 7- WATER FOUNTAIN
- 8- WINDING
- 9- RESTROOMS
- 10- LIBRARY/BUSINESS CENTER
- 11- WELLNESS CENTER
- 12- SALON
- 13- FITNESS CENTER
- 14- MULTI-PURPOSE SPACE
- 14a- SMALL GATHERING SPACE
- 15- KITCHEN
- 16- STORAGE
- 17- PATIO
- 18- GAZEBO/PAVILION
- 19- ELEVATORS
- 20- CART STORAGE
- 21- JANITORS CLOSET
- 22- TRASH ROOM
- 23- MAINTENANCE OFFICE
- 24- MECHANICAL SPACE
- 25- ELECTRICAL ROOM
- 26- ATS ROOM
- 27- FIRE PUMP
- 28- 3 UNITS
- 29- LAUNDRY ROOM
- 30- DATA ROOM
- 31- PROPERTY OFFICE
- 32- TRASH CHUTE
- 33- TRASH ENCLOSURE
- 34- LOADING ZONE
- 35- ROOFTOP DECK
- 36- GREEN ROOF
- 37- GENERATOR

First Floor Residences

- A- ONE BEDROOM (560 SQ FT)
- B- TWO BEDROOM (780 SQ FT)

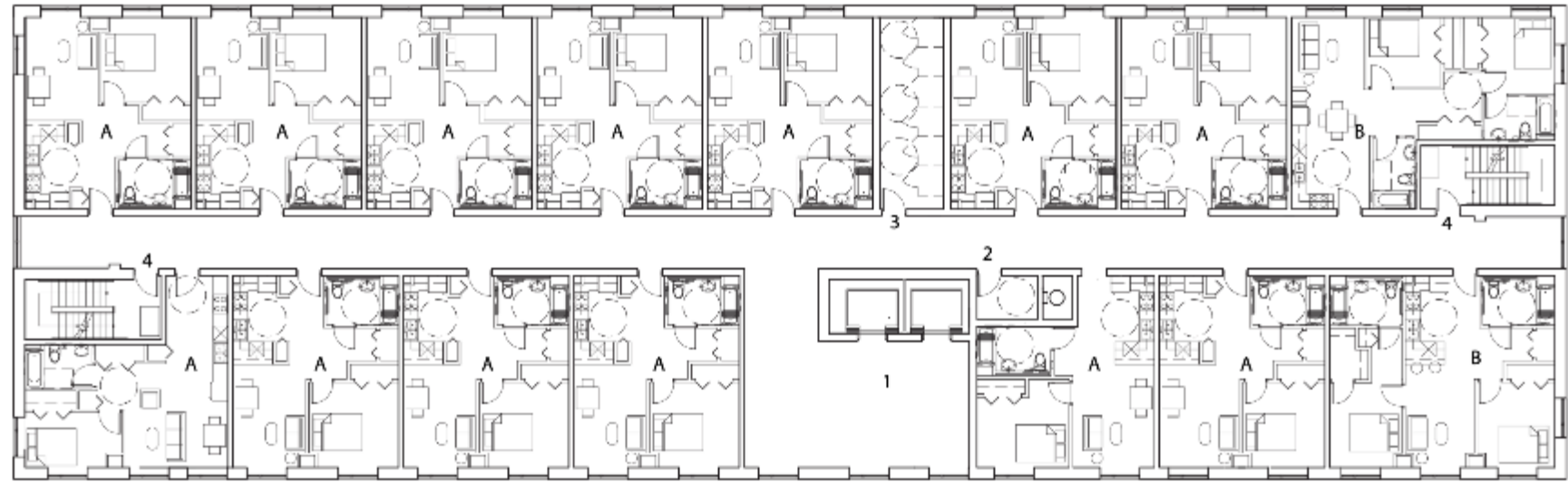
Phase 1 Breakdown

Residence Building	Main Building	
46,591 sqft	N/A	Living Units
5,034 sqft	5618 sqft	Amenities
3,657 sqft	N/A	Maintenance/Management
15,279 sqft	1880 sqft	Circulation
70,561 sqft	7,498 sqft	TOTAL



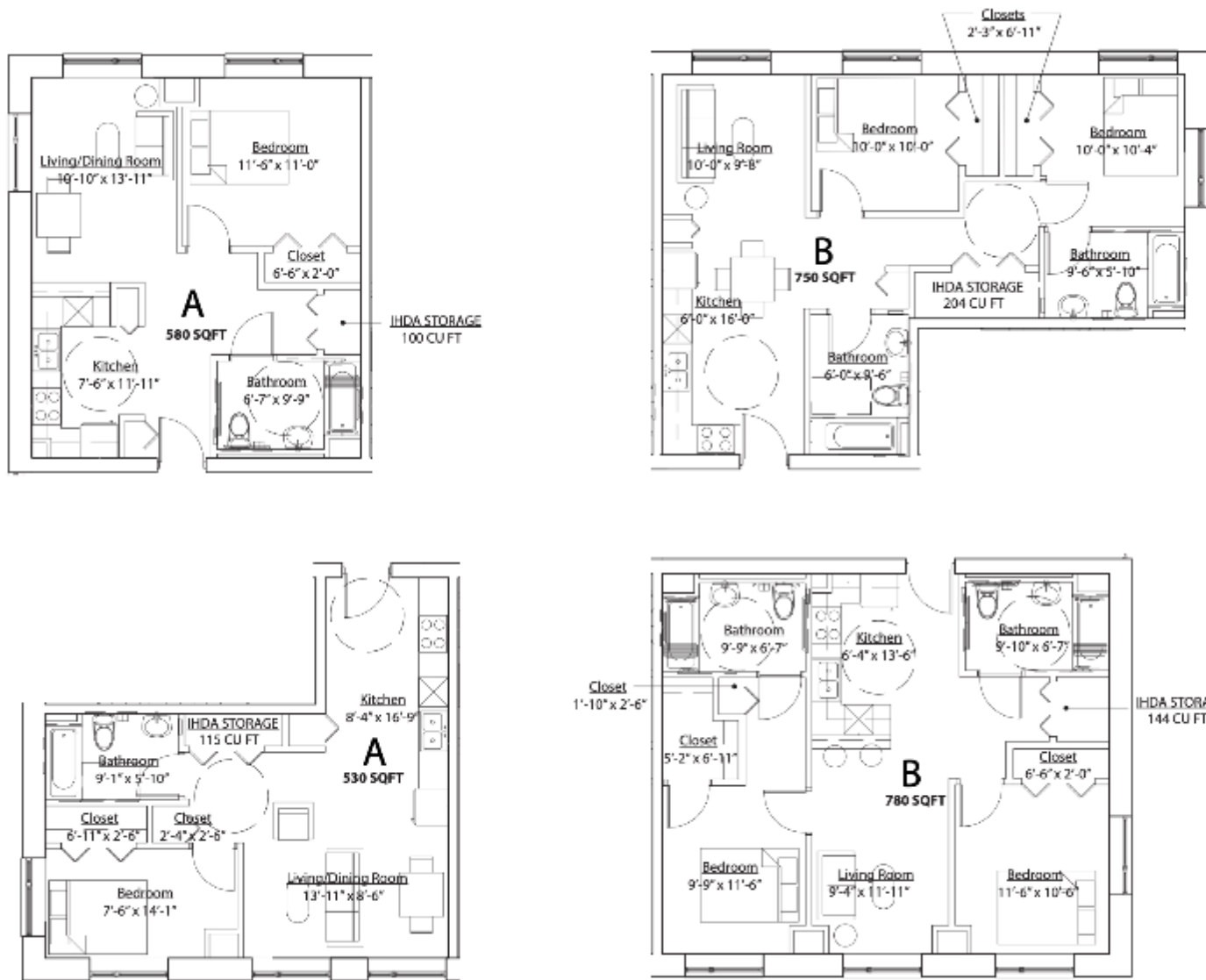


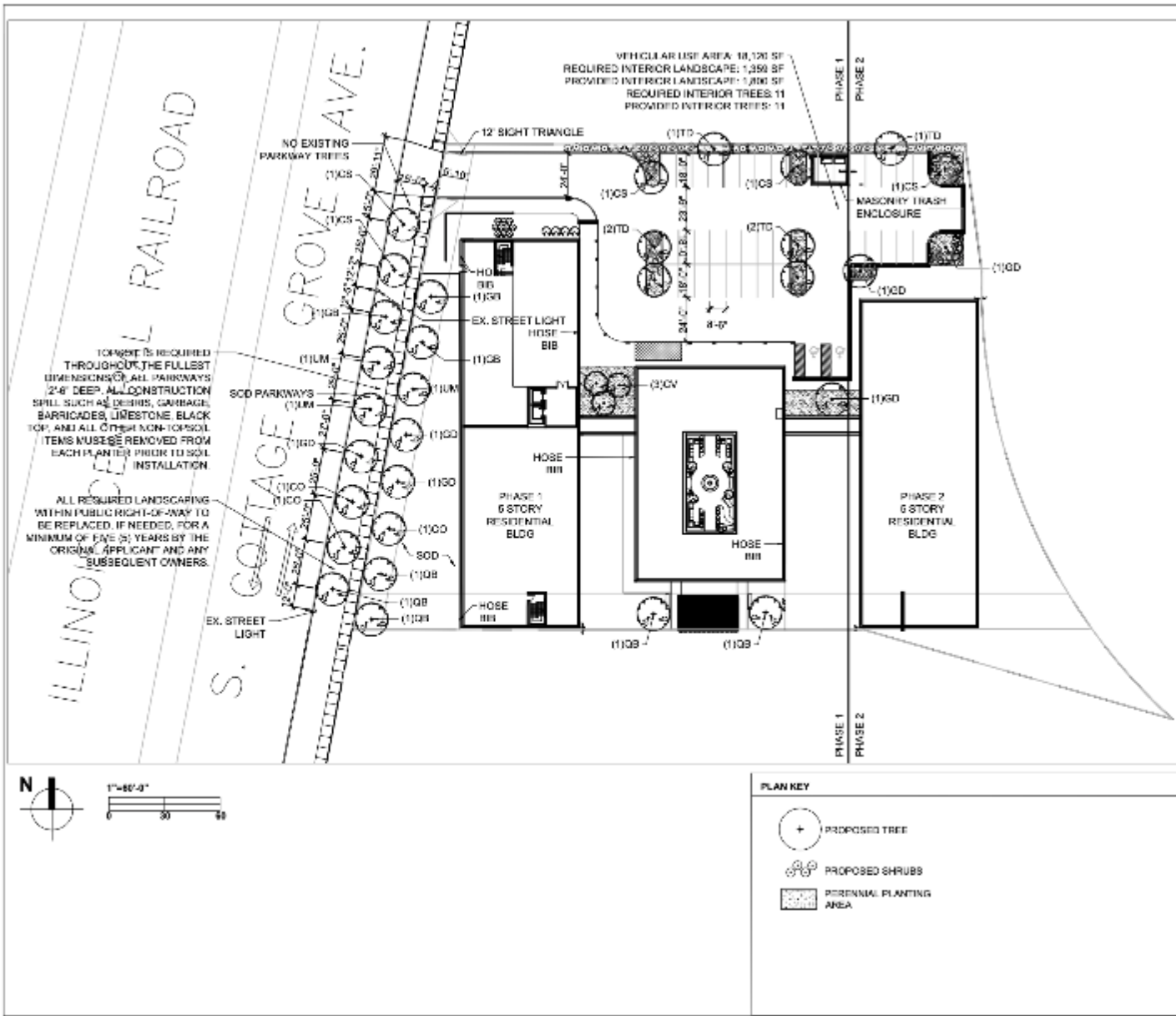




RESIDENTIAL LEGEND
A- ONE BEDROOM (577 SQ FT)
B- TWO BEDROOM (760/782 SQ FT)
1- ELEVATORS
2- TRASH CHUTE
3- STORAGE UNITS
4- STAIRS







OWNER:
 Trinity 96th & Cottage Grove Planned
 Community Development Series, LLC
 400 W. 95th Street
 Chicago, Illinois

NOTE:
 OVERGROWN TREES AND SHRUBS
 TO BE HORTICULTURALLY
 PRUNED. SITE TO BE CLEANED OF
 WEEDS AND DEAD PLANT
 MATERIAL.

Statement By Owner
 I commit to the provision and replacement of required landscaping in the following form:
 "existing roadway and on-site interior base are to be provided with a project in order
 construction and will be replaced by current and subsequent owner if damaged."

I commit to the maintenance of required landscaping in the following form: "The undersigned
 acknowledges that the landscape planting plan shown on this sheet for the property at 9633 S
 Cottage Grove Avenue in Chicago, IL, has, to the best of the undersigned applicant's
 knowledge, been designed and will be installed, maintained, and replaced as required, by
 current and subsequent owners in accordance with the requirements of Title 10, Chapter 32 of
 the Chicago Municipal Code, the landscaping standards of the Chicago Zoning Ordinance, and
 the Guide to the Chicago Landscape Ordinance."

Signed _____ Date _____

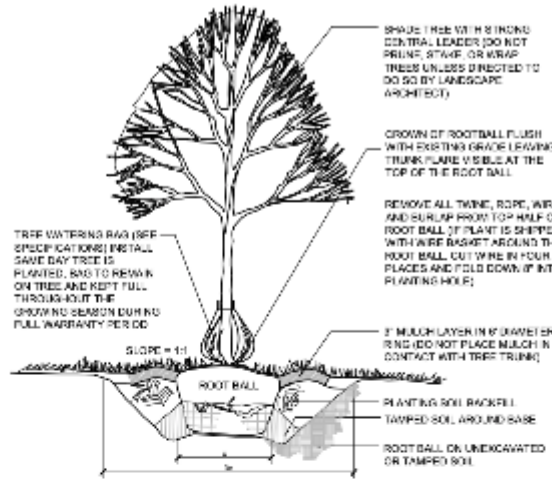
Statement By Registered Landscape Architect
 I commit to the provision of the landscape plan in the following form: "The undersigned
 landscape architect, registered in the State of Illinois, acknowledges that the landscape planting
 plan and construction details, shown on this sheet for the property at 9633 S Cottage Grove
 Avenue in Chicago, IL, have been designed in accordance with the requirements of Title 10,
 Chapter 32 of the Chicago Municipal Code, the landscaping standards of the Chicago Zoning
 Ordinance, and the Guide to the Chicago Landscape Ordinance."

Signed *Michael McGeary* Date _____

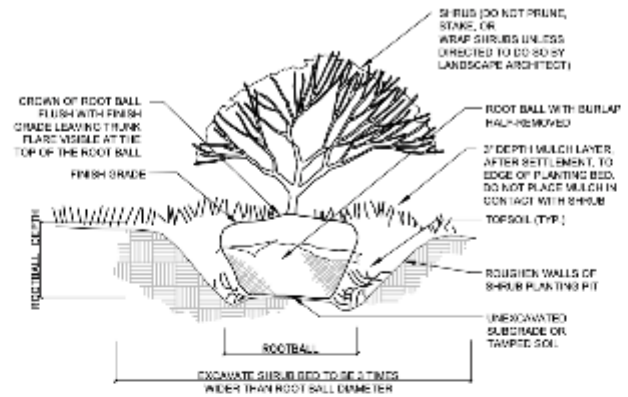
Michael McGeary, Landscape Architect #157-0802798 expires 8/31/2021

ESTIMATED PLANTING DATE: _____

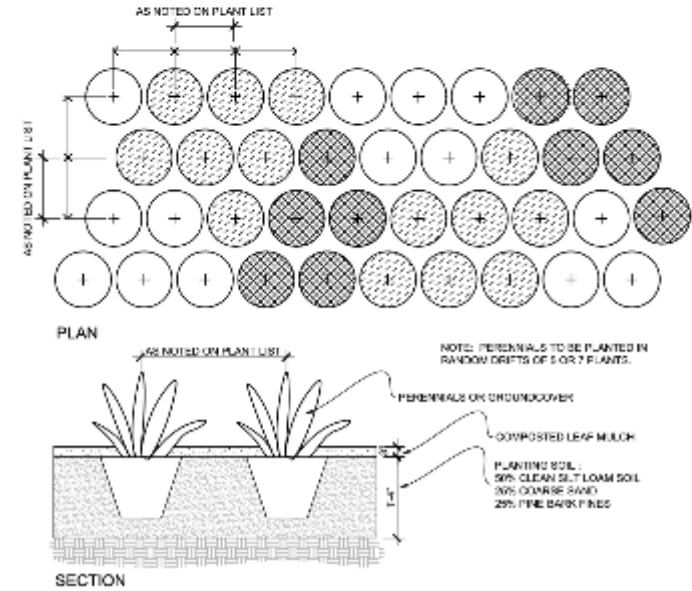
PLANTING LIST				
BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENTS
SHADE TREES				
CO	CELTIS OCCIDENTALIS	3	2"	7' CLEAR
CS	CATALPA SPECIOSA	5	2"	7' CLEAR
GB	GINKGO BIL. 'MAGYAR'	3	2"	7' CLEAR
GD	GYMNOCADUS DIOICUS	6	2"	7' CLEAR
OV	QUERCUS VIRGINICA	3	5"	MULTI-STEM
QB	QUERCUS BICOLOR	5	5"	7' CLEAR
TJ	TAXODIUM DIST. 'SHAWNEE GRAVE'	5	2"	7' CLEAR
LM	LIQUIDAMBAR NEW HORIZON'	3	2"	7' CLEAR
SHRUBS				
CA	CORVILIS AMERICANA			AMERICAN HAZELNUT 40'
JCK	JUNIPERUS CHAMENSIS 'KITTELPERI'			KITTELPERI JUNIPER 5'
P.L.D	PHYSCOCARPUS 'LITTLE DEVIL'			LITTLE DEVIL NINEBARK 25
RC	ROSA CAROLINA			CAROLINA ROSE 25
RTE	REHUS 'TIGER EYES'			TIGER EYES SUMAC 25
PERENNIALS				
AN	ALLIUM MILLENUM			MILLENUM ALLIUM 21
PW	PANICUM 'NORTH WINDS'			NORTH WINDS SWITCHGRASS 22
SA	SESLERIA AUTUMNALIS			AUTUMN MOORE GRASS 21



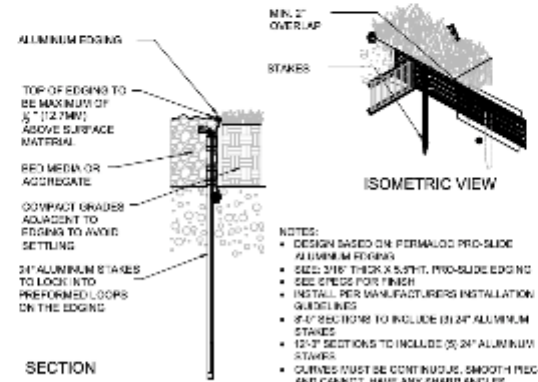
1 TYPICAL TREE PLANTING DETAIL
SCALE: 1/8" = 1'-0"



2 TYPICAL SHRUB PLANTING DETAIL
SCALE: 1/8" = 1'-0"



3 TYPICAL PERENNIAL PLANTING DETAIL
SCALE: 1/8" = 1'-0"



4 TYPICAL ALUMINUM EDGE DETAIL
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

- Every attempt has been made to show all utility lines where they exist. Contractor shall use every precaution in digging as new actual underground utilities may not be as shown. Contractor shall become thoroughly familiar with all underground utility locations prior to any digging and verify locations and depths of all utilities. Contractor shall report any conflicts to ACR prior to beginning work.
- Contractor shall verify all dimensions and locations of existing and proposed features, including existing vegetation and terrainize themselves with any obstacles encumbering the installation of the project. Any concerns shall be directed to ACR or Landscape Architect in writing prior to commencing work.
- Contractors shall keep all areas clean and orderly at all times.
- Contractors shall keep all roadways and sidewalks clear of mud and debris that result from landscape operations.
- Contractor is responsible for protecting existing trees and vegetation to remain. Contractor shall replace any existing trees or vegetation that are damaged during construction.

PLANTING NOTES:

- Contractors shall familiarize themselves with all landscape specifications prior to commencement of work. Any questions or concerns shall be directed to ACR or Landscape Architect in writing prior to landscape work commencement.
- Plant quantities shown on drawings are for contractor's convenience in estimating only. Contractors are responsible for providing plant materials sufficient to cover areas shown on plans at the spacings indicated.
- Site grading**
All surface drainage shall be diverted away from building. Where poor subsurface drainage conditions occur in the field, contractor shall notify Landscape Architect immediately and make recommendations for solutions to drainage issues before proceeding with work.
Slopes of planting areas away from building at 2" min. grade.
- All grading, drainage, and utility shall be evaluated in the field for conflict of points with designed grading.

Soil & planting mix:

- All soil planting mix for the bedfill or base, whether from on-site stockpile or new imported soil, shall be amended to meet the following requirements:

For Tree and Shrub beds:
70% clean sift loam topsoil
15% coarse sand
15% pine bark fines

For Perennial and Groundcover beds:
90% clean sift loam topsoil
25% coarse sand
25% pine bark fines

- All planting areas shall be thoroughly tilled to a minimum of 12"-18" depth.
- Topsoil shall be free of debris, stumps, and other material not more than one inch (1") diameter in size.
- All excess materials and spoils resulting from the landscape work shall be legally disposed of off-site by the Landscape Contractor.

Planting Standards

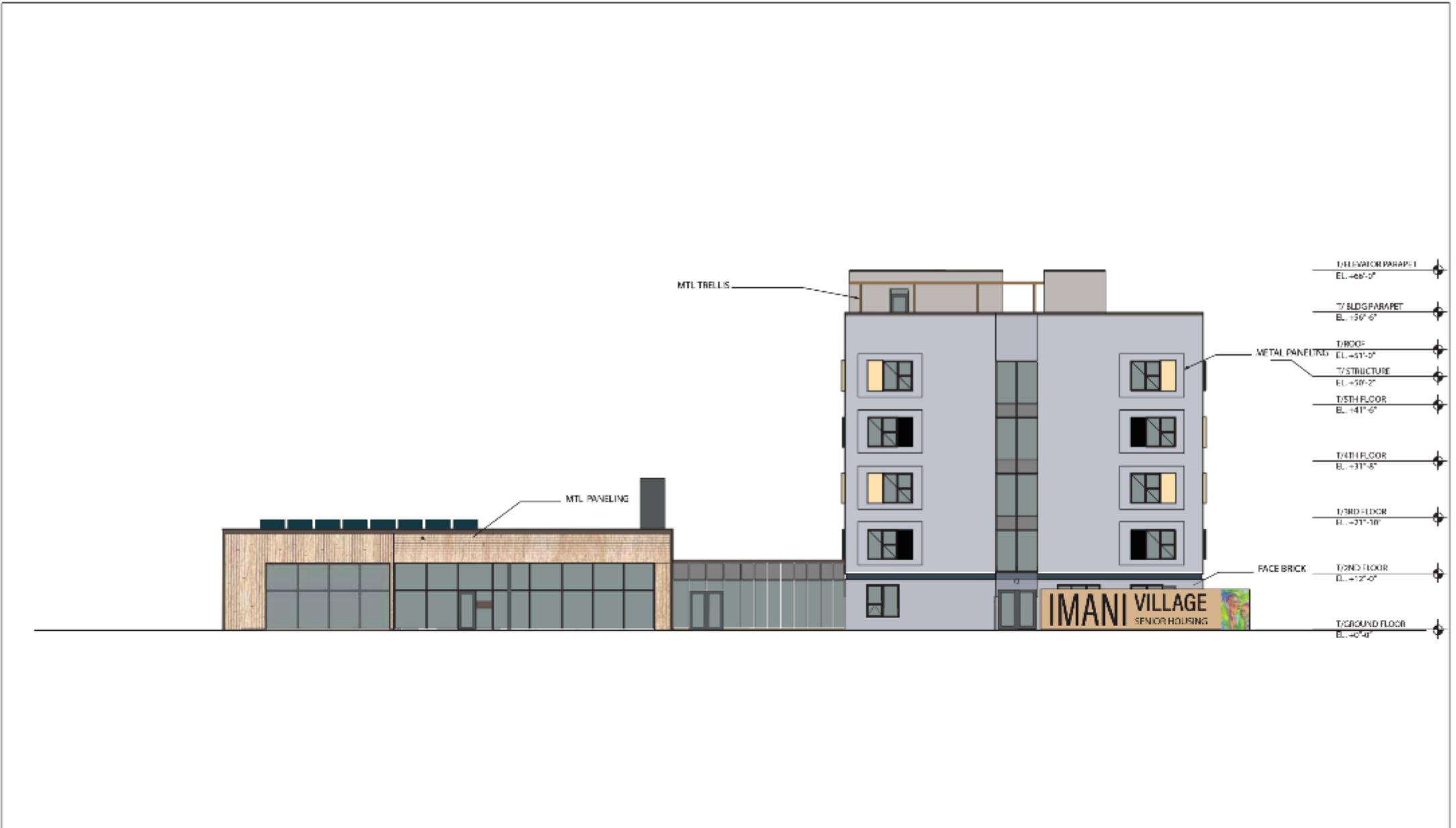
- All plants shall be protected against heat, sun, wind, and frost during transportation to the site and while being held at the site. Do not store plants in total darkness more than one day.
- Plants may not be damaged during transportation or planting.
- Contractor shall notify the ACR at the time of delivery of any plant material that is damaged or in poor condition to determine acceptability.
- All trees shall be single trunk standards unless otherwise noted.
- Landscape Architect shall approve all plant materials for quality, condition and specified sizes. Trees and shrubs shall be approved at nursery location or photos can be emailed to the Landscape Architect for approval, during tagging or before removal and transport to job site. Notify Landscape Architect 1 week prior to tentative date of tagging. Tagging should occur at least 1 week prior to the tentative date of transplanting the plant material.
- Perennials and groundcover shall be approved at job site prior to installation. At least one plant of each species delivered to the site will have an identification tag from the supplying nursery showing common and botanical plant names.
- Landscape Architect shall field verify and approve all final staked tree, shrub, and perennial bed locations and all perennial layouts prior to installation. Notify Landscape Architect 1 week prior to the tentative date of staking.
- Landscape Architect reserves the right to reject all plant materials before planting. Material may be rejected at any time due to condition, form or damage before or after planting.
- All temporary plant tying material and marking tapes shall be removed at the time of planting.

Mulching

- For tree and shrub install organic double shredded hardwood bark mulch at a depth of 2".
- For perennial and groundcover beds install organic composted leaf mulch at a depth of 3".

Maintenance & Warranty

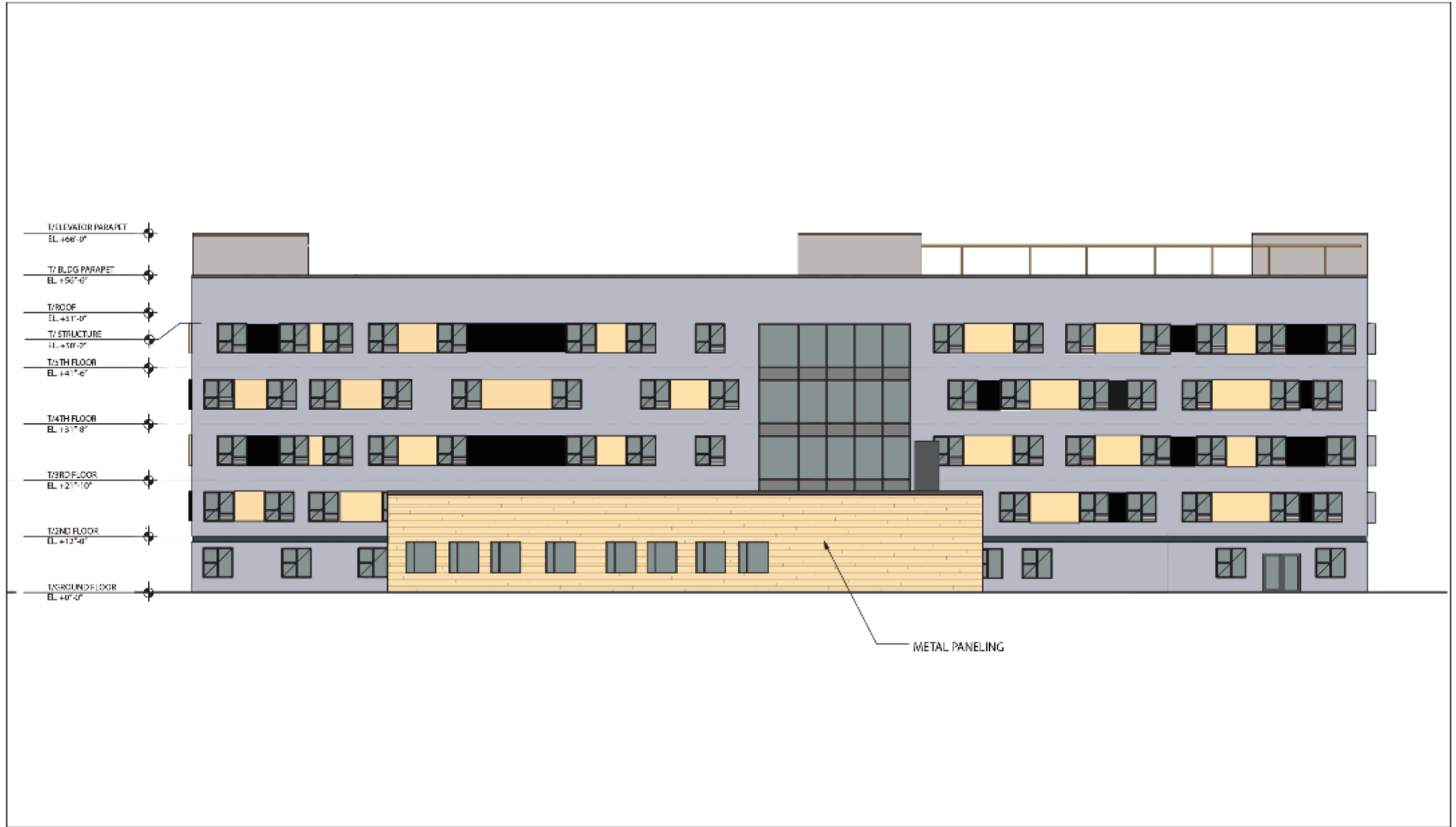
- All plants shall be thoroughly watered in at time of planting and watered and maintained throughout construction until final acceptance by owner or certificate of occupancy is received. Contractor shall water all plants immediately after planting. Flood plants twice during the first twenty-four (24) hours after planting.
- Landscape Contractor shall warranty all trees, shrubs, perennials, and ornamental grasses under the contract against death and defects including unusual dieback growth, wood for effects resulting from neglect by owner, abuse or damage by others or unusual phenomenon or incidents which are beyond the contractor's control.
- Contractor shall repair to its original condition any trees or ferns damaged as a result of their work.



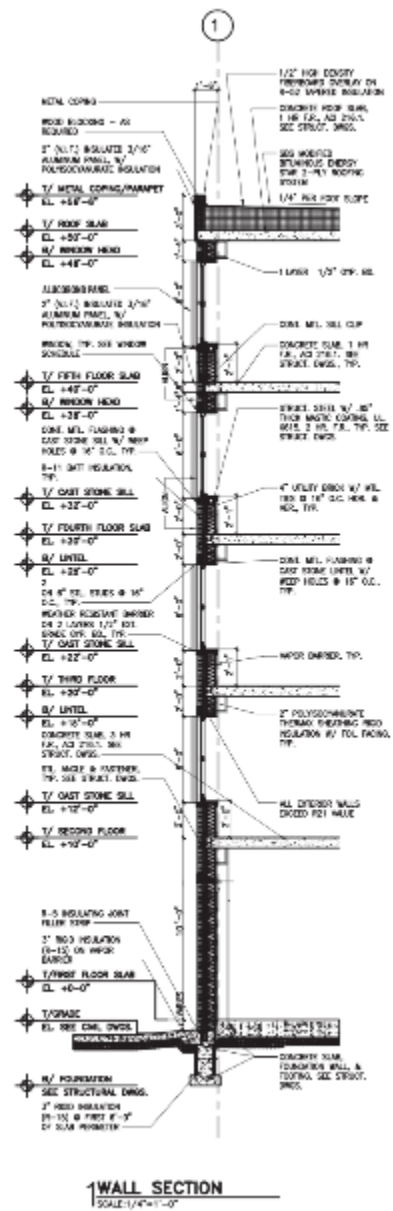
BUILDING ELEVATION NORTH

12/16/2021









1 WALL SECTION
SCALE: 1/4" = 1'-0"

Finish Materials

Alucobond Panels



Chestnut
PVDF Paint
Class 3-5



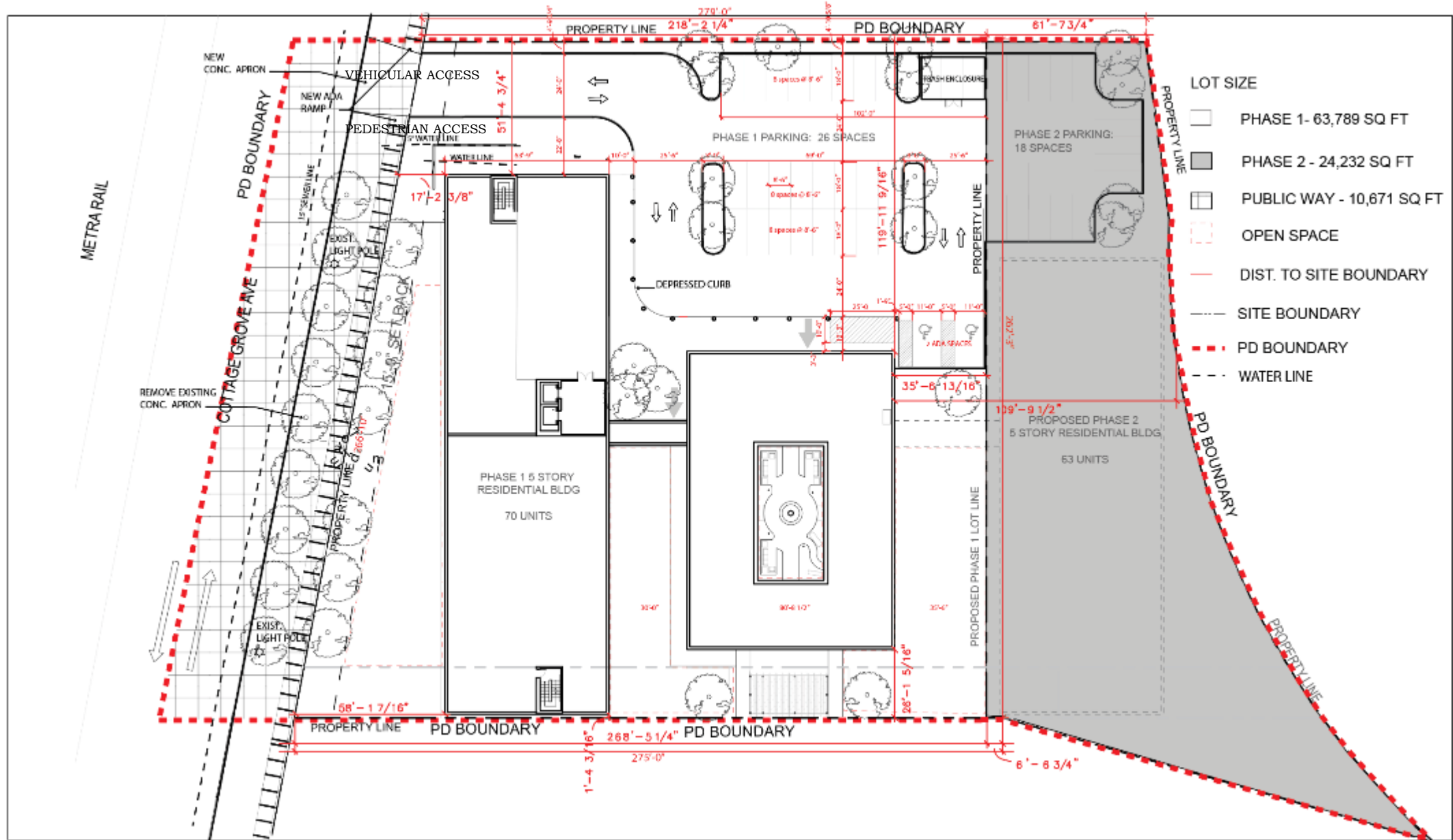
Cadet Gray
PVDF 2
Class 25-30



T4-Corn Black
SMP
Class 25-35



Tuscan Sun
PVDF 2
Class 25-35



SITE PLAN DIMENSIONS AND BOUNDARIES / OPEN SPACE + LANDSCAPING

12/16/2021

Chicago Sustainable Development Policy 2017



Compliance Options	Points Required	Sustainable Strategies Menu																															
		Health	Energy					Stormwater					Landscapes			Green Roofs	Water	Transportation						Solid Waste	Work Force	Wildlife							
Starting Points	Number of Optional Points Required (New Construction/Substantial Rehab/Moderate Rehab)	3.1 Achieve WELL Building Standard	2.1 Designed to earn the Energy Star	Choose one			Choose one		Choose one			4.1 Working Landscapes	4.2 Natural Landscapes	4.3 Tree Planting	4.4 Achieve Sustainable Sites Certification	Choose one	Choose one		7.1 Proximity to Transit Service	7.2 Bike-share Sponsorship	7.3 Bike Parking Residential	7.4 Bike Parking Commercial & Industrial	7.5 EV Charging Stations	7.6 EV Charger Readiness	7.7 CTA Digital Displays	8.1 80% Waste Diversion	8.2 Workforce Development	Choose one					
Options Without Certification	0	100 / 50 / 25	40	30	20	30	40	50	10	20	10	20	40	5	5	5	5	5	5	5	5	5	5	5	5	5	10	5	5	10	10	5	10
Options With Certification																																	
LEED Platinum	95	5 / 0 / 0	40	NA	NA	NA	NA	NA	NA	NA	10	20	40	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	10	5	5	10	
LEED Gold	90	10 / 0 / 0	40	NA	NA	NA	NA	50	10	20	10	20	40	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	10	5	5	10
LEED Silver	80	20 / 0 / 0	40	NA	NA	NA	40	50	10	20	10	20	40	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	10	5	5	10
Green Globes 4 Globes	90	10 / 0 / 0	40	NA	NA	NA	NA	50	10	20	10	20	40	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	10	5	5	10
Green Globes 3-Globes	80	20 / 0 / 0	40	NA	NA	NA	40	50	10	20	10	20	40	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	10	5	5	10
Green Globes 2-Globes	70	30 / 0 / 0	40	NA	NA	NA	40	50	10	20	10	20	40	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	10	5	5	10
Living Building Challenge	100	0 / 0 / 0	40	NA	NA	NA	NA	NA	NA	10	20	40	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	10	5	5	10
Living Building Challenge Petal	90	10 / 0 / 0	40	NA	NA	20	30	40	50	NA	NA	10	20	40	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	10	5	5	10
Enterprise Green Communities	80	20 / 0 / 0	40	NA	NA	NA	NA	NA	10	20	10	20	40	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	10	5	5	10
Passivehouse	70	30 / 0 / 0	40	NA	NA	NA	NA	NA	10	20	10	20	40	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	10	5	5	10

*Only available to affordable housing projects funded by DPD's Housing Bureau

Planned Development Projects (PDI) - New Construction	100 points required
TIF Funded Development Projects (TIF) - New Construction*	100 points required
DPD Housing, Multi-family (>5 units) Projects (DPD-H MF) - New Construction	100 points required
PD, TIF, DPD-H MF and Class L - Renovation Projects*	
Moderate Renovation Projects	25 points required
Substantial Renovation Projects	50 points required

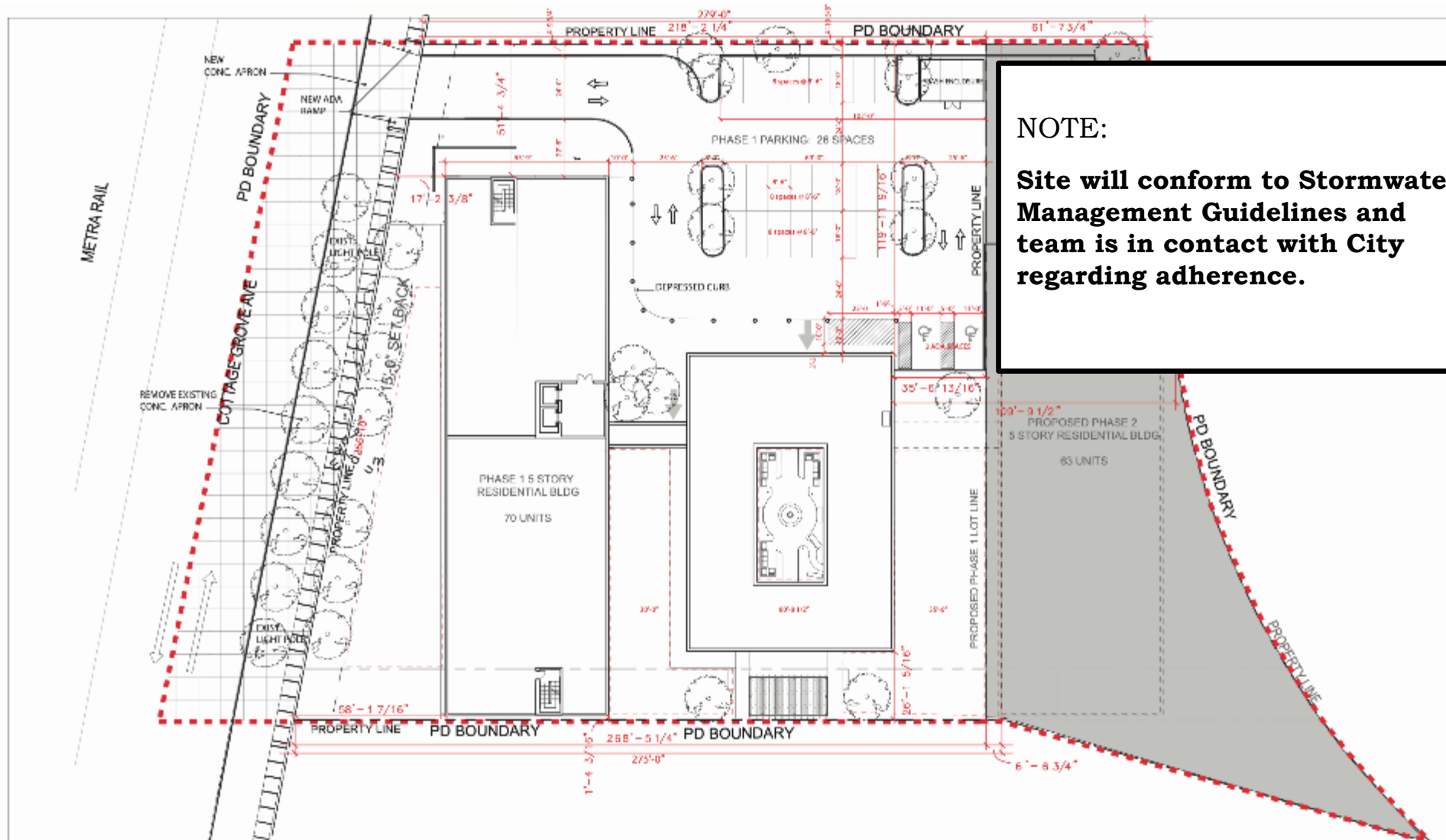
*Does not apply to TIF assistance of less than \$1M (including but not limited to TIF-NIP, TIF Purchase Rehab, Streamlined TIF and SBIF programs)

Moderate Renovation Projects: projects including partial or minor upgrades to building systems and minor repairs to the exterior envelope
 Substantial Renovation Projects: projects including new and/or upgraded building systems and extensive repairs to the exterior envelope

ENTERPRISE GREEN COMMUNITY: 80 PTS

CERTIFYING CONSULTANT: **LTLB ENVIROLECTURE**

2.6	ON SITE RENEWABLE ENERGY 3%	10 PTS
4.3	TREE PLANTING	5 PTS
5.1	GREEN ROOF 50%	10 PTS
6.1	INDOOR WATER REDUCTION (25%)	10 PTS
7.1	PROXIMITY TO TRANSIT SERVICE	5 PTS
8.2	WORK FORCE DEVELOPMENT	10 PTS
TOTAL		130 PTS





FIRST FLOOR



TYPICAL FLOOR

RESIDENTIAL LEGEND

- A- ONE BEDROOM (577 SQ FT)
- B- TWO BEDROOM (760/782 SQ FT)

INCOME BREAKDOWN

ALL UNITS AFFORDABLE

- 13** 1BRs @30% AMI
- 3** 2BRs @ 30% AMI
- 47** 1BRs @ 60% AMI
- 7** 2BRs @ 60% AMI



LEGAL DESCRIPTION:

PARCEL I. 1/4 AC. (34,740 SQ. FT.)... PART OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 43 NORTH, RANGE 12 EAST, COUNTY OF COOK, ILLINOIS...

PARCEL II. 1/4 AC. (34,740 SQ. FT.)... PART OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 43 NORTH, RANGE 12 EAST, COUNTY OF COOK, ILLINOIS...

PARCEL III. 1/4 AC. (34,740 SQ. FT.)... PART OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 43 NORTH, RANGE 12 EAST, COUNTY OF COOK, ILLINOIS...

PARCEL IV. 1/4 AC. (34,740 SQ. FT.)... PART OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 43 NORTH, RANGE 12 EAST, COUNTY OF COOK, ILLINOIS...

PARCEL V. 1/4 AC. (34,740 SQ. FT.)... PART OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 43 NORTH, RANGE 12 EAST, COUNTY OF COOK, ILLINOIS...

PARCEL VI. 1/4 AC. (34,740 SQ. FT.)... PART OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 43 NORTH, RANGE 12 EAST, COUNTY OF COOK, ILLINOIS...

PARCEL VII. 1/4 AC. (34,740 SQ. FT.)... PART OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 43 NORTH, RANGE 12 EAST, COUNTY OF COOK, ILLINOIS...

PARCEL VIII. 1/4 AC. (34,740 SQ. FT.)... PART OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 43 NORTH, RANGE 12 EAST, COUNTY OF COOK, ILLINOIS...

PARCEL IX. 1/4 AC. (34,740 SQ. FT.)... PART OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 43 NORTH, RANGE 12 EAST, COUNTY OF COOK, ILLINOIS...

PLAT OF SURVEY
IMANI VILLAGE SENIOR RESIDENCES
9621 S. Cottage Grove Ave., Chicago, IL



NOTES: 1. THIS PLAT OF SURVEY IS BASED UPON THE RECORDS OF THE CHICAGO PLAT BOOKS...

LEGAL DESCRIPTION: PARCEL I. 1/4 AC. (34,740 SQ. FT.)... PART OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 43 NORTH, RANGE 12 EAST, COUNTY OF COOK, ILLINOIS...

LEGAL DESCRIPTION: PARCEL II. 1/4 AC. (34,740 SQ. FT.)... PART OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 43 NORTH, RANGE 12 EAST, COUNTY OF COOK, ILLINOIS...

LEGAL DESCRIPTION: PARCEL III. 1/4 AC. (34,740 SQ. FT.)... PART OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 43 NORTH, RANGE 12 EAST, COUNTY OF COOK, ILLINOIS...

LEGAL DESCRIPTION: PARCEL IV. 1/4 AC. (34,740 SQ. FT.)... PART OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 43 NORTH, RANGE 12 EAST, COUNTY OF COOK, ILLINOIS...

LEGAL DESCRIPTION: PARCEL V. 1/4 AC. (34,740 SQ. FT.)... PART OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 43 NORTH, RANGE 12 EAST, COUNTY OF COOK, ILLINOIS...

LEGAL DESCRIPTION: PARCEL VI. 1/4 AC. (34,740 SQ. FT.)... PART OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 43 NORTH, RANGE 12 EAST, COUNTY OF COOK, ILLINOIS...

LEGAL DESCRIPTION: PARCEL VII. 1/4 AC. (34,740 SQ. FT.)... PART OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 43 NORTH, RANGE 12 EAST, COUNTY OF COOK, ILLINOIS...

Table with columns for 'EXISTING USE', 'PROPOSED USE', 'AREA', 'PERCENTAGE OF COVERED AREA', 'TOTAL COVERED AREA', 'TOTAL UNCOVERED AREA', 'TOTAL AREA'.



UTILITY STATEMENT: THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE AREA AND HAS IDENTIFIED THE FOLLOWING UTILITIES...

SURVEY NOTES: 1. ALL SURVEY POINTS WERE RECHECKED AND FOUND TO BE CORRECT... 2. THE SURVEY WAS CONDUCTED UNDER CLEAR SKY CONDITIONS...

Table with columns for 'DATE', 'DRAWN BY', 'CHECKED BY', 'DATE', 'DRAWN BY', 'CHECKED BY'.

SHEET 1 OF 1





- \$22 M+ PROJECT COST
- 300+ CONSTRUCTION JOBS
- COMMITMENT TO GREATLY EXCEED THE MAYORAL EXECUTIVE ORDER OF 26/6/50% MBE/WBE & CITY HIRING GOALS
- 100% NEW PROPERTY TAXES



DPD Recommendations

The proposal:

- Will not adversely affect the continued industrial viability of the Burnside Industrial Corridor (17-13-0403);
- Complies with the Chicago Sustainable Industries plan and is consistent with land use patterns in this portion of the Burnside Industrial Corridor (17-8-0903);
- Is compliant with the Planned Development Standards and Guidelines (17-8-0900 & 17-13-0609-A);
- Ensures a level of amenities appropriate to the nature and scale of the project (17-8-0104);
- Is designed to promote pedestrian interest, safety, and comfort (17-8-0905-A); and
- Is compatible with the character of the surrounding area in terms of uses, density, and building scale (17-13-0308-C & 17-13-0609-B)