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LANDMARKS ORDINANCE


Chicago Landmark Buildings, Sites & Landmark Districts

Chicago Landmarks Ordinance (Chapter 2-120, Sections 580 to 920, of the Municipal Code of Chicago):

- Purpose and Duties of Commission on Chicago Landmarks
- Criteria and Process for Landmark Designation
- Permit Review Process
- Penalties and Remedies

The Commission is responsible for recommending to the City Council individual buildings, sites, objects or districts for designation as Chicago Landmarks.

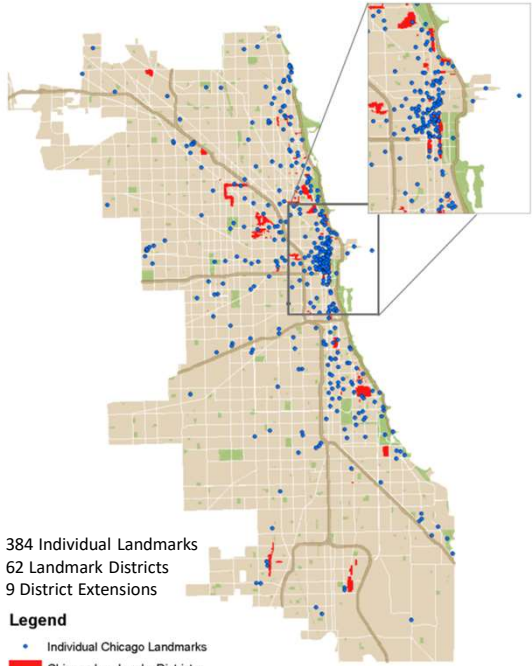
The Commission also reviews any **proposed alteration, demolition or new construction projects** affecting a designated or proposed Chicago Landmark.



Chicago Landmarks

Chicago Landmark Districts


Zoning Map Signals



384 Individual Landmarks
62 Landmark Districts
9 District Extensions

Legend

- Individual Chicago Landmarks
- Chicago Landmarks Districts



Historic Preservation Division

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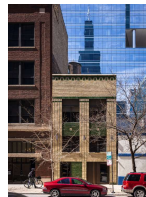
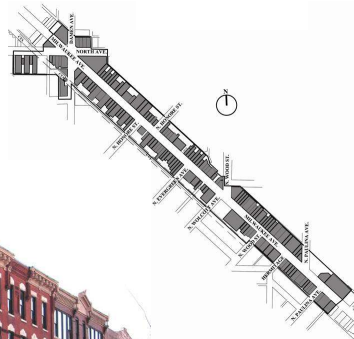
SIGNIFICANT HISTORICAL OR ARCHITECTURAL FEATURES

HP Division Contact Information: 312-744-3200 | landmarks@cityofchicago.org

Milwaukee Avenue District

Significant features:

All exterior elevations, including rooflines, visible from public rights-of-way...



The Warehouse
206 S. Jefferson



Frankie Knuckles
(1955-2014)

Significant features:

All exterior elevations, including rooflines, of the building



IBM Building
330 N. Wabash



Significant features:

- All exterior elevations, including rooflines, of the building
- Surrounding plazas and podium
- First floor lobby interior



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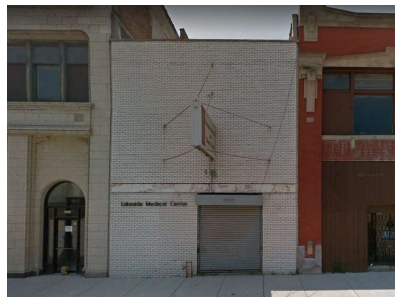
LANDMARKS ORDINANCE

Rules and Regulations of the Commission establish procedure, standards and criteria for review of permit applications

- The U.S. Secretary of the interior's Standards for Rehabilitation + Commission's Guidelines
- Criteria for Determining Adverse Effect
- Criteria for Determining a Contributing Building within a Landmark District
- Criteria for New Construction, Additions, and Alterations to Non-Contributing Buildings



Historic



Before Rehabilitation



After Rehabilitation



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PERMIT REVIEW PROCESS

All permit applications for work on proposed or designated Chicago Landmarks are routed to the Historic Preservation Division of the Department of Planning and Development.

Content of Permit Applications
 In addition to the rules and timeline for review of permit applications the Commission has established what information must be submitted by the applicant for a complete application.

Majority of permit applications are reviewed by Historic Preservation Division staff on behalf of the Commission.

The Commission only reviews area of work proposed by the owner/applicant.



PERMIT APPLICATION SUBMISSION REQUIREMENTS

The Commission on Chicago Landmarks (the "Commission") reviews all permit applications for alteration, construction, reconstruction, erection, demolition, relocation, or other work for any area, district, place, building, structure, work of art, or other object that is a designated Chicago Landmark or a proposed Chicago Landmark (i.e., the Commission has made a preliminary recommendation for landmark status) or which is located within a designated or proposed Chicago Landmark District. The Department of Buildings routes building permit applications to Commission staff for review as part of the building permit process. The purpose of the Commission's review is to ensure that the proposed work will not adversely affect any significant historical or architectural features of the improvement or the landmark district. Projects not requiring the Commission's, or its Permit Review Committee's review may be approved by the Commission staff through the regular building permit process.


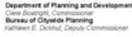

Review of Permit Applications

The permit review process is outlined in Sections 2-120-740 through -825 of the Municipal Code of the City of Chicago. An overview of the process, as well as the procedures and standards for review, are contained in Article III of the Commission's Rules and Regulations. The Commission's review of permit applications is guided by the City of Chicago Landmarks Ordinance (Municipal Code of Chicago, Section 2-120-550 et seq.), the U.S. Secretary of the Interior's Standards for Rehabilitation of Historic Buildings, the Commission's Guidelines for Alterations to Historic Buildings and New Construction, and the Commission's Rules and Regulations (such documents, as may be amended from time to time, collectively, the "Guidelines"). Copies of these documents are available from the Commission offices and the Historic Preservation Division website.


To the extent not already included as part of the permit application, the attached submittal checklists identify what information must be submitted to the Commission as part of a permit application. The Commission staff will notify applicants of incomplete submittals and may defer review of an application until the submittals are complete. Questions about the required submittal information or the permit review process should be directed to Commission staff.

Commission's Permit Review Committee (PRC) - See *Pre-Permit Review* document for the submittal checklist, meeting schedule, and submittal deadlines for PRC review. While most permit applications can be reviewed at the Commission staff level, the following types of projects need to be reviewed by the Commission or the PRC:

- New infill construction projects
- Garages on corner properties
- Building additions, dormers, and rooftop additions visible from the public way, except for rear additions no taller and no wider than the existing building and not located on corner lots
- Signage requiring City Council approval due to its size or height above grade
- Driveways and curb cuts
- Demolitions of 40% or more of any building or other structure designated as a Chicago Landmark or located in any Chicago Landmark District, pursuant to Sec. 2-120-825 of the Municipal Code
- Projects otherwise referred by the Commission staff, such as, but not limited to, projects that involve unusual conditions and projects that do not comply with the Guidelines.




 Bureau of Citywide Planning, 121 North LaSalle St. • Room 1000 • Chicago, Illinois 60602 • 312.744.3200 • www.cityofchicago.org/landmarks

December 7, 2023



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PERMIT REVIEW PROCESS

Most common scopes of work typically reviewed at staff level include:

- Interior rehabilitation
- Exterior restoration/rehabilitation work that complies with the *U.S. Secretary of the Interior's Standards for Rehabilitation of Historic Buildings*, Commission's Rules and Regulations and Commission's Guidelines such as:
 - Masonry or siding work
 - Roofing replacement
 - Window and storefront replacement




Before Rehabilitation



After Rehabilitation



Before Rehabilitation



After Rehabilitation

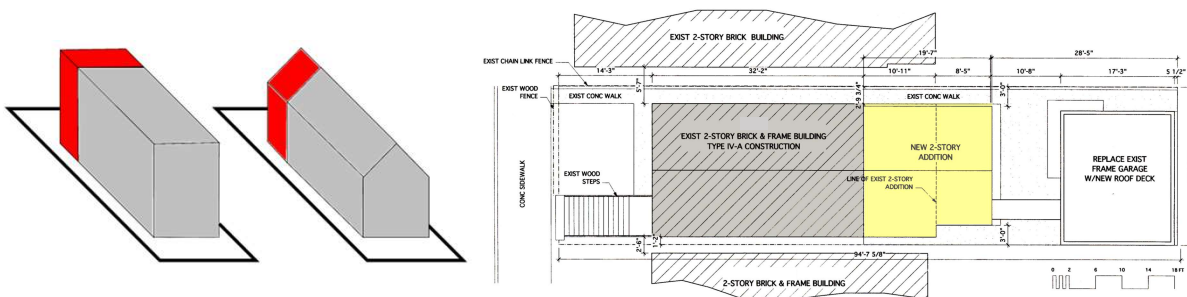


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PERMIT REVIEW PROCESS

- Building additions for properties located in landmark districts that are not visible (or minimally visible from the street) such as rear additions on mid-block properties no taller or wider than the historic building are reviewed at staff level.



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STANDARDS

U.S. Secretary of the Interior's Standards for Rehabilitation

Rehabilitation is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values."

(1) A property shall be **used for its historic purpose** or be placed in a **new use that requires minimal change** to the defining characteristics of the building and its site and environment.



(2) The historic character of a property shall be **retained and preserved**. The removal of historic materials or alterations of features and spaces that characterize a property shall be avoided



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STANDARDS

(3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a **false sense of historical development**, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

(4) Most properties change over time; those **changes that have acquired historic significance** in their own right shall be retained and preserved.

(5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

(6) ...Replacement of missing features shall be **substantiated** by documentary, physical, or pictorial evidence.



STANDARDS

(7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the **gentlest means possible**.



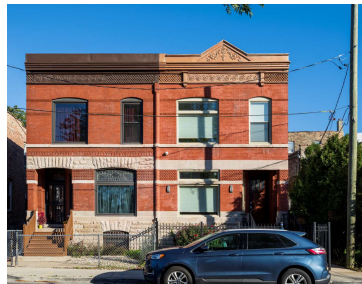
Before Rehabilitation



After Rehabilitation



Before Rehabilitation



After Rehabilitation

(8) Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

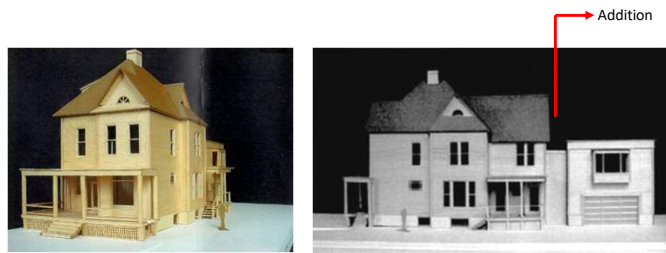
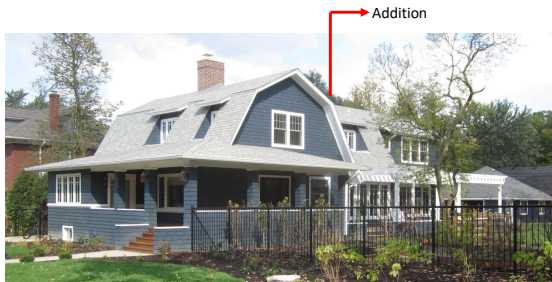


STANDARDS

(9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be **differentiated from the old** and shall be **compatible** with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.



(10) New additions and adjacent or related new construction shall be undertaken in such a manner that **if removed in the future**, the essential form and integrity of the historic property and its environment would be unimpaired.



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CRITERIA FOR DETERMINING ADVERSE EFFECT

Work proposed as part of a permit application that is contrary to any of the following criteria will be deemed to have an **adverse effect** (excerpted):

1. Maintain or repair the significant historical and architectural feature with no material change.
2. Replace the significant feature in-kind if beyond repair.
3. Restore the significant feature to its original character based on documented evidence where it was altered or removed.
4. Restore the significant feature to its original character with a compatible and appropriate replacement.



Before Rehabilitation



During Construction



After Rehabilitation



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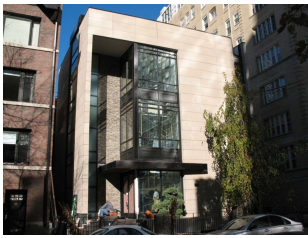
NEW CONSTRUCTION IN LANDMARK DISTRICTS

New infill buildings are reviewed to ensure they are compatible with and complement the landmark’s significant historical and architectural features.

The intent is to encourage excellence in **contemporary design** that does not imitate, but rather complements, existing architectural and environmental characteristics of the landmark (“compatible but differentiated”).

New construction should respect the characteristics of the landmark in terms of (excerpted):

1. **Massing** (i.e., size, shape, plan form, roof form, number of stories, scale, etc.)
2. **Site plan** (i.e., setbacks/yards, siting, fence height/location, etc.)
3. **Historic and architectural character** (i.e., façade organization, fenestration pattern, scale, entry/porches, etc.)
4. **Materials** (i.e., character, color, texture, etc.)



 **Historic Preservation Division**

PERMIT REVIEW COMMITTEE

Commission on Chicago Landmarks (CCL) or Permit Review Committee (PRC) review required for:

- New infill construction projects
- Garages on corner properties
- Building additions, dormers, and rooftop additions visible from the public way
- Signage requiring City Council approval
- Demolitions of 40% or more
- Driveways and curb cuts
- Projects that do not comply with standards and guidelines

PRC Approval

- CCL or PRC pre-permit conditional approval is valid for 4 years
- Conditional approval may be extended for 1 year by HP Division staff

Review of Projects Before Applicant Files Permit Application

- Pre-permit review is strongly encouraged
- HP Division staff can provide guidance or refer the pre-permit review to the Permit Review Committee or the Commission.

HP Division Contact Information: 312-744-3200 | landmarks@cityofchicago.org

Permit Review Committee Meeting Date

- December 7, 2023
- January 11, 2024
- February 8
- March 7
- April 4
- May 2
- June 6
- July 11
- August 8
- September 12
- October 3
- November 7
- December 5
- January 2025 (TBD)

 **Historic Preservation Division**

DEMOLITION DELAY ORDINANCE

Chicago Historic Resources Survey (CHRS) - First comprehensive survey for a large city in the U.S.A.
Survey took 13 years (1983 – 1996)

Orange & Red Coded Properties

- All permit applications for 'red' and 'orange' rated buildings are routed to HP Division for review.
- Demolition (full or partial) triggers a 90-Day Demolition Hold which gives DPD time to explore options for preservation, including landmark designation.
- Permit applications that do not trigger the Demolition Delay Ordinance (14A-4-407.6) are released.



Zoning Map Signals: Oranges and Reds are shown

	Red	Citywide, National or Global Significance, Approx. 300 bldgs
	Orange	Significant in Neighborhood Context, Approx. 10,000 bldgs

Color-coding

