



CHICAGO PLAN COMMISSION

Department of Planning and Development

ACADEMY FOR GLOBAL CITIZENSHIP

W 44th St. and S. LaPorte Ave. (Ward 22)

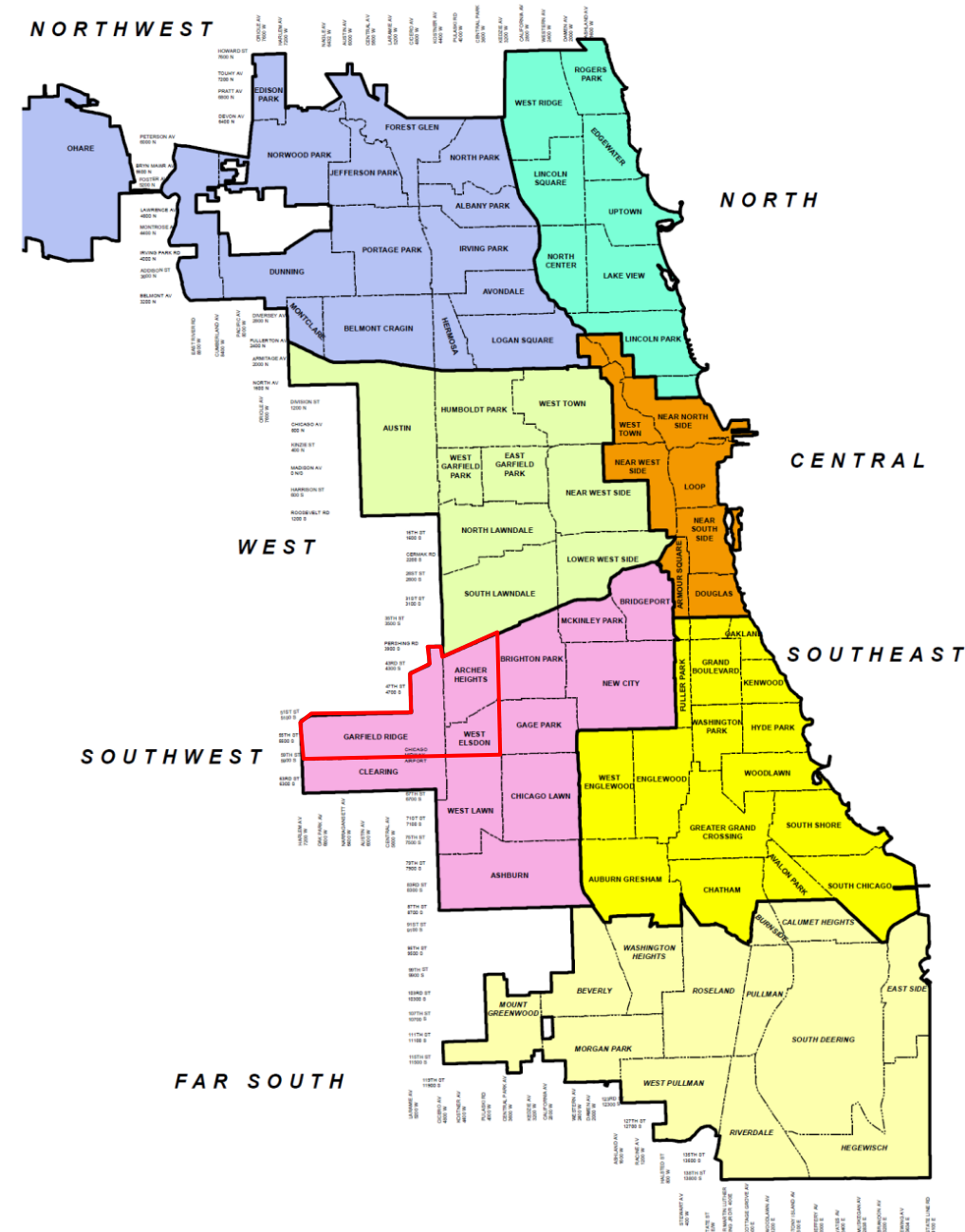
Sarah Elizabeth Ippel

07/09/2020

★ Community Area Snap Shot

COMMUNITY AREA INFORMATION:

- Site and Community Area Located on Key Map ===>
- The site is comprised of 6+ acres, acquired from CHA and was once part of CHA Leclaire Courts
- The site lies within the Garfield Ridge community, but is on the border with Archer Heights and West Elsdon
- The development of the site is bound to a Community Benefits Agreement with CHA
- The development of the site is also bound by a Memorandum of Understanding with the Alderman, the Hearst Community Organization and the Leclaire Courts Local Advisory Council.



★ Planning Context

A Recipe for Healthy Places



Addressing the Intersection of
Food and Obesity in Chicago

• Build Healthier Neighborhoods • Grow Food • Expand Healthy Food Enterprises
• Strengthen the Food Safety Net • Serve Healthy Food and Beverages • Improve Eating Habits

PLANNING DOCUMENTS RELATED TO SITE INCLUDE “A RECIPE FOR HEALTHY PLACES”

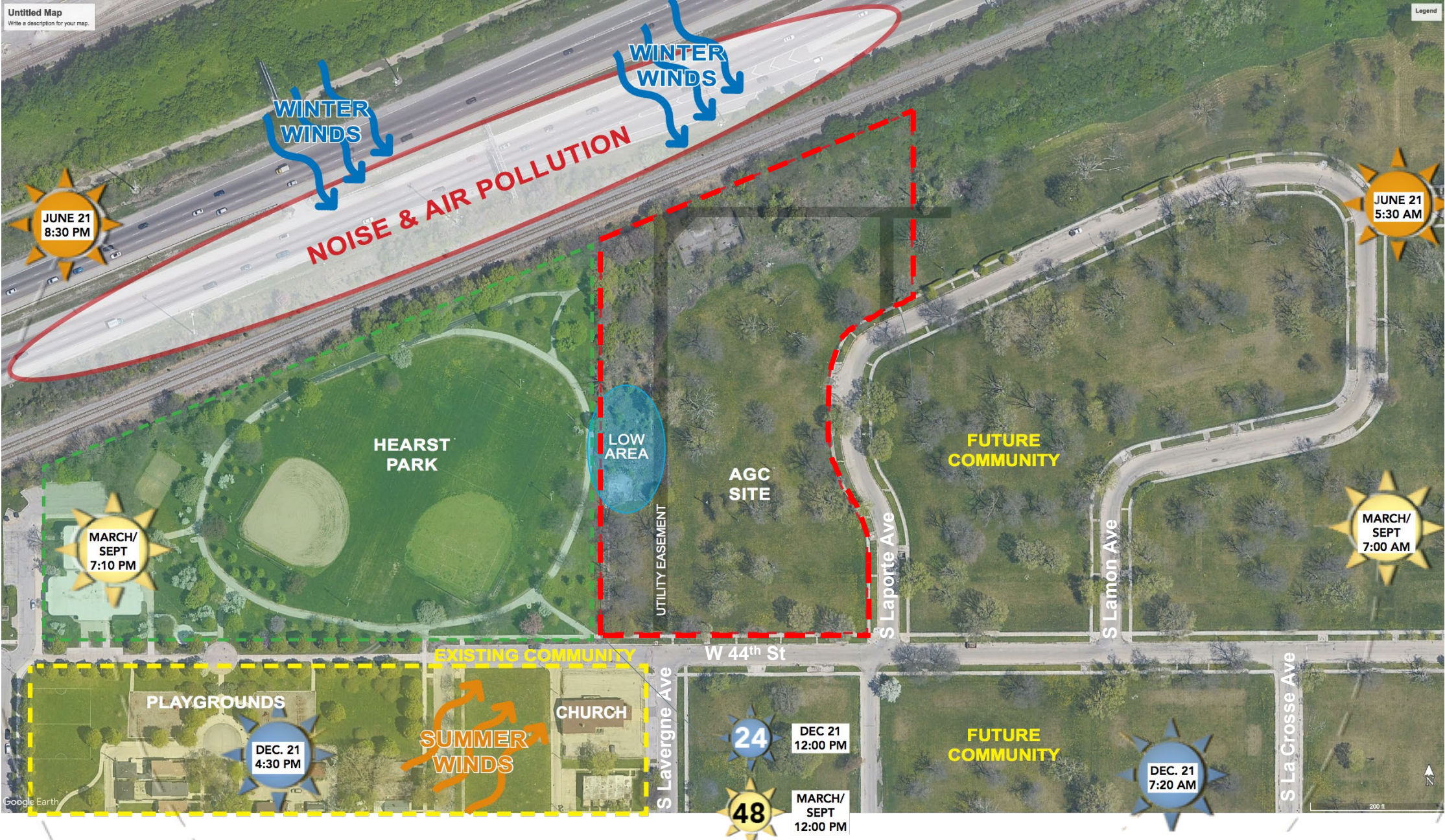
- Published January 2013
- Lead by DPD, DFSS and DoPH with support from the Consortium to Lower Obesity in Chicago Children
- “Adopted by the Chicago Plan Commission in January 2013, A Recipe for Healthy Places will serve as an official roadmap for city planning and policymaking, as well as a guide for groups and individuals seeking to achieve healthier lifestyles through food.”
- This planning document identifies obesity as “a disease of place”, highlighting place-based health disparities throughout Chicago
- This planning document cites Sinai Health Systems survey which highlights that African American and Latinx populations are disproportionately affected by obesity, diabetes and related diseases.
- Further, this planning document identifies specific area concerns related to limited access to grocery stores, higher food insecurity rates and higher diabetes hospitalization rates.

Planning Context (cont.)

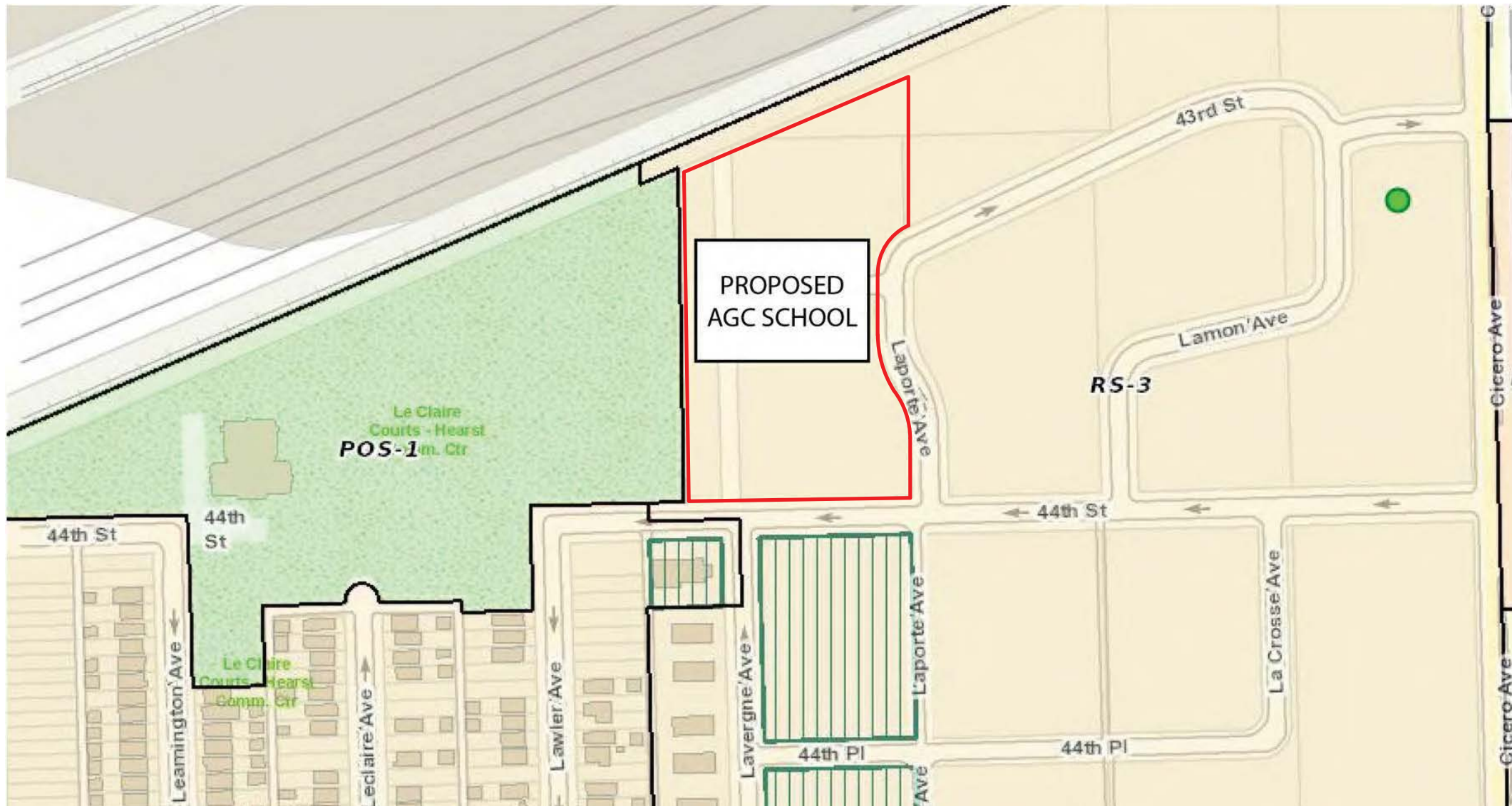
- AGC serves majority low-income students and families in Southwest Chicago, with a student body comprising of 96% minority and 24% special needs students.
- In addition to AGC's location being designated as a food desert by the USDA's Economic Research Service, the Chicago Health Atlas shows that our community is medically underserved by 46%, which equates to 48,457 individuals who do not have access health care resources, and 31,802 of whom are uninsured.
- The Illinois Department of Public Health's Childhood Asthma Surveillance Report shows that children from industrial communities with heightened pollutant levels, including Chicago's Southwest side, are hospitalized for asthma three times more frequently than children who live in other parts of Chicago.
- Given AGC's comprehensive model for supporting child wellness, AGC has made substantial progress in its fight against poor nutrition; although inbound kindergartners have a 54% higher obesity rate than the city average, by sixth grade, the AGC obesity rate is more than a third lower than the rate for all Chicago sixth graders.

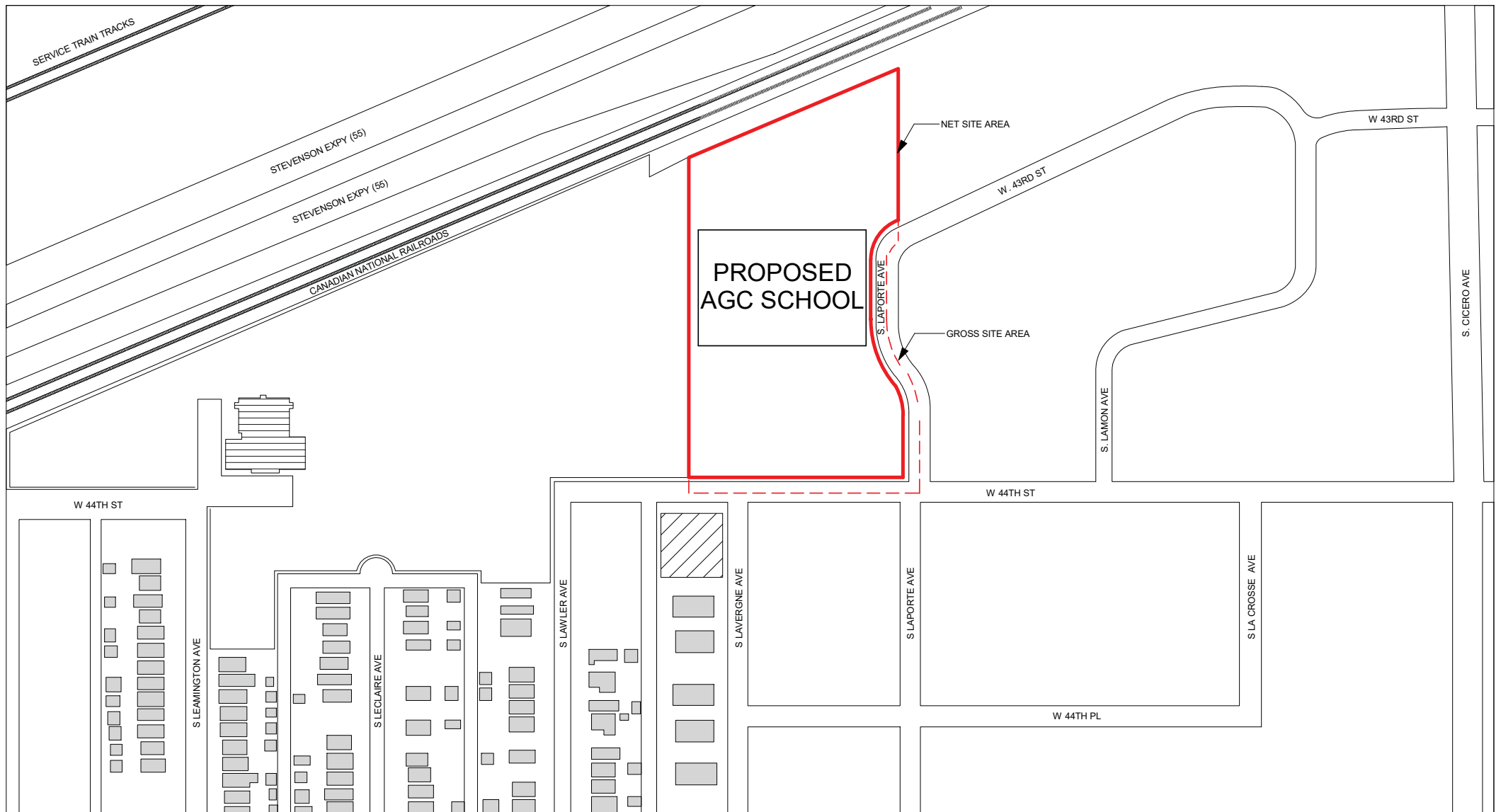
Project Timeline + Community Outreach




- Date of PD Filing: October 2019
- Dates of Community and Stakeholder Outreach
 - 10/18/19 Hearst Community Organization Leaders
 - 11/13/19 Hearst & Archer Heights Community Leaders Meeting
 - 11/14/19 Federation of Women Contractors Outreach
 - 12/11/19 Archer Heights Community Organization Meeting
 - 12/11/19 Hearst Community Organization Forum
 - 1/8/2020 Hispanic American Construction Industry Association
 - 1/14/2020 & 3/17/2020 Black Contractors Owners & Executives
 - 1/15/2020 & 4/10/2020 Black Contractors United



SITE CONTEXT PLAN





-  RESIDENTIAL
-  RELIGIOUS
-  PARK



- Screened Parking, Utilities, and Trash with Enclosures and Landscape Buffers
- Street Level Spaces; courtyards and plazas adjacent to sidewalks
- Architectural variation and interest (view glazing) at unique programmatic areas. 'Active Streets'
- Abundant Landscape softens building mass
- Safe secure lighting along pedestrian routes

Pedestrian Context



W 44TH ST VIEW (SOUTH ELEVATION)

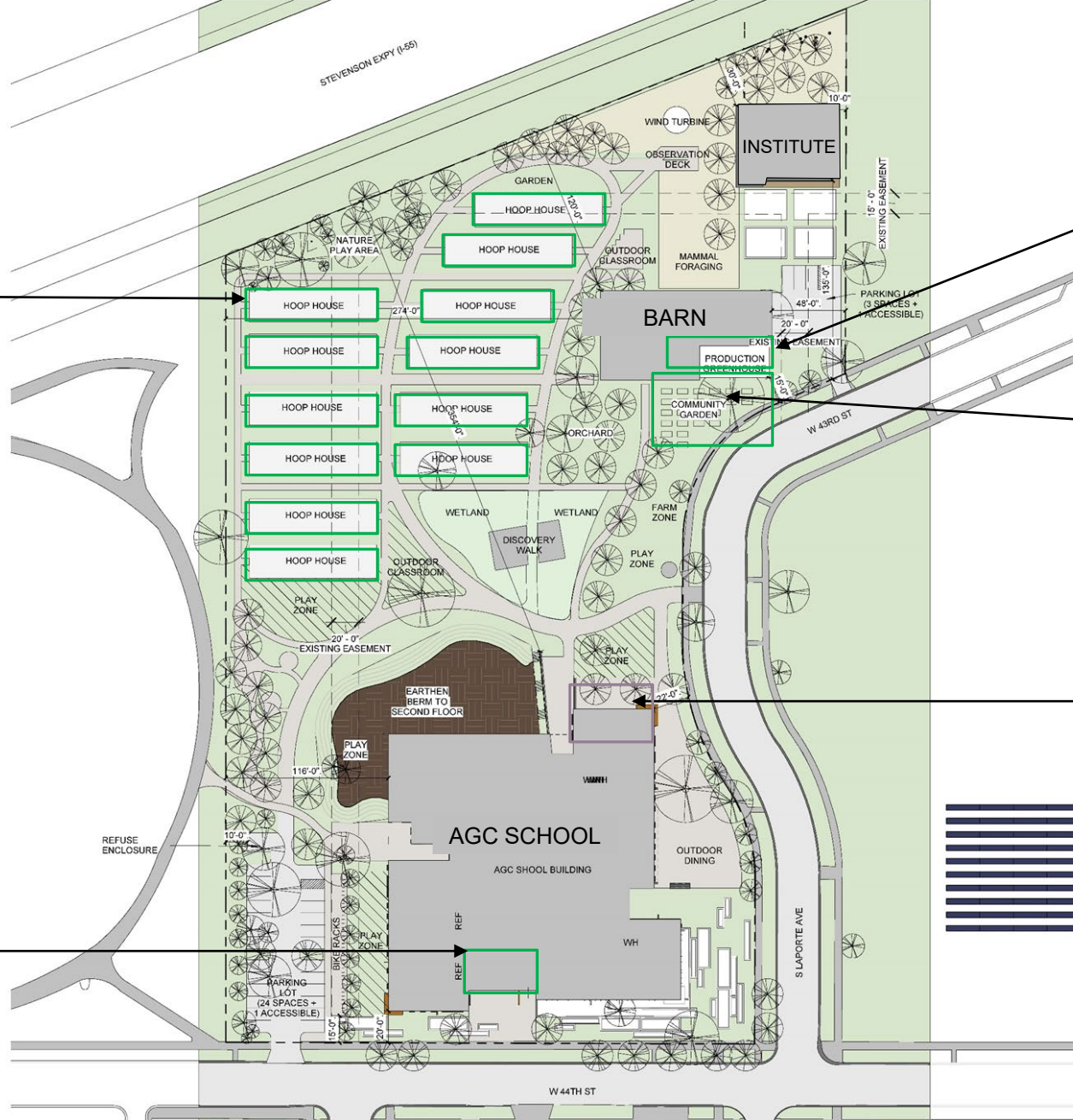
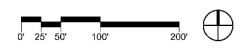
12 Hoop Houses for produce

Educational Greenhouse

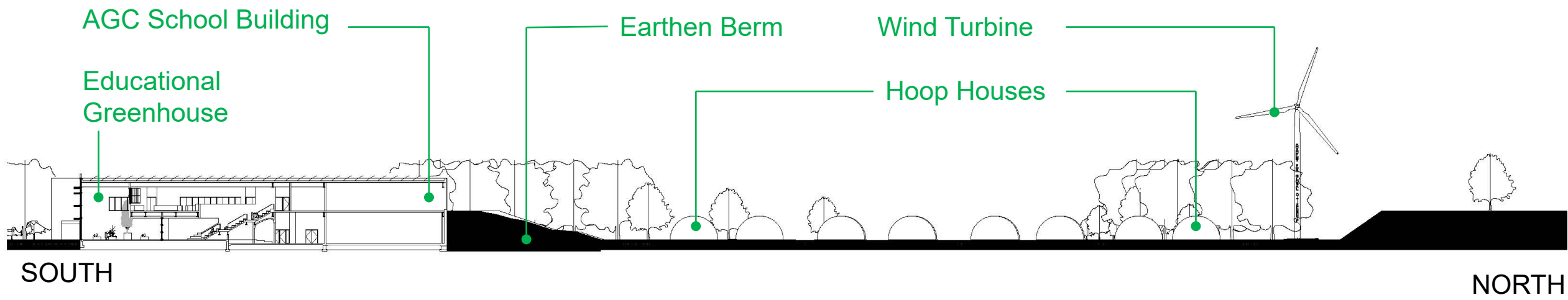
Production Greenhouse for year-round produce & processing

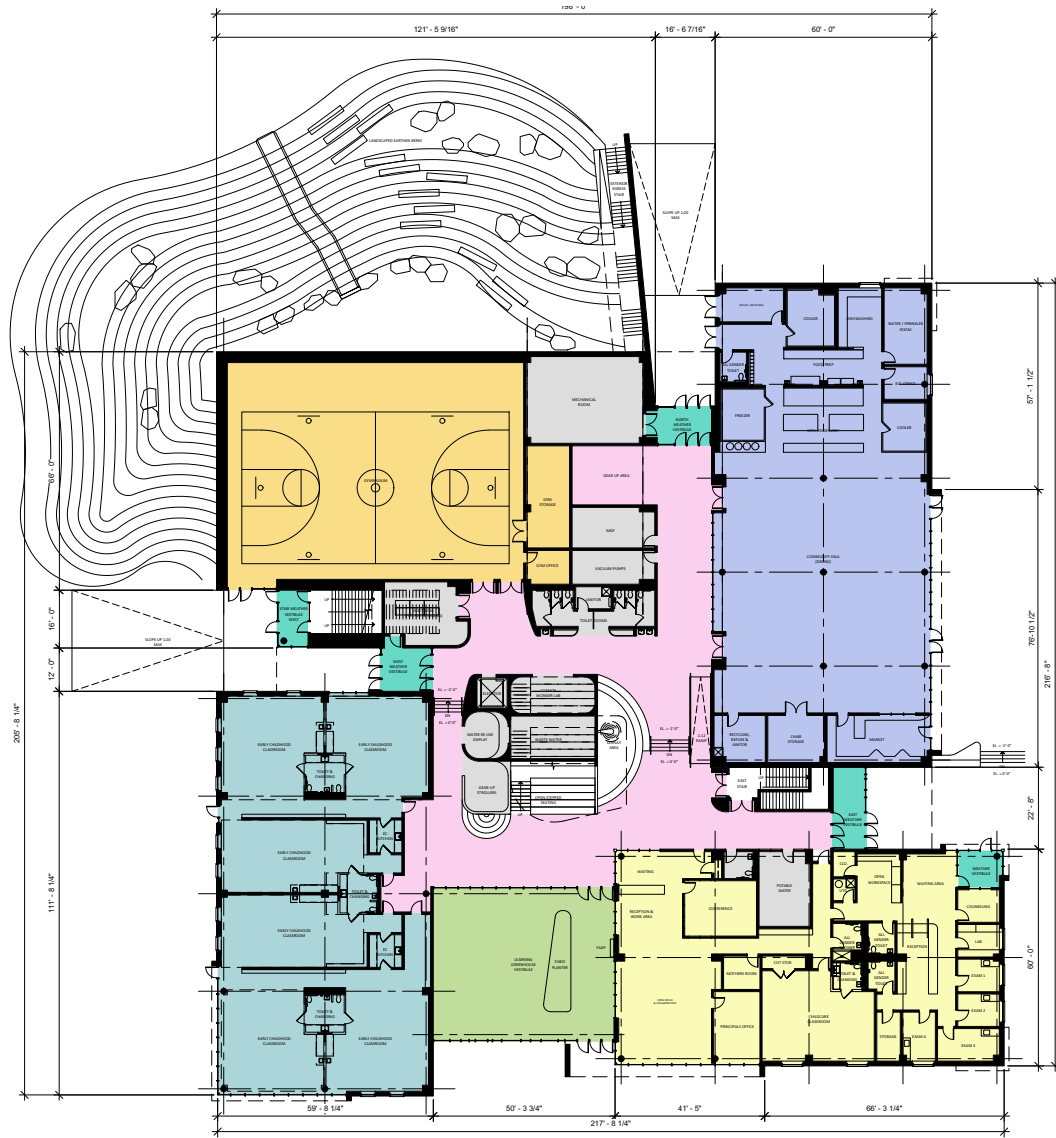
Community Garden

Community Hall, Teaching Kitchen, and Farm Store



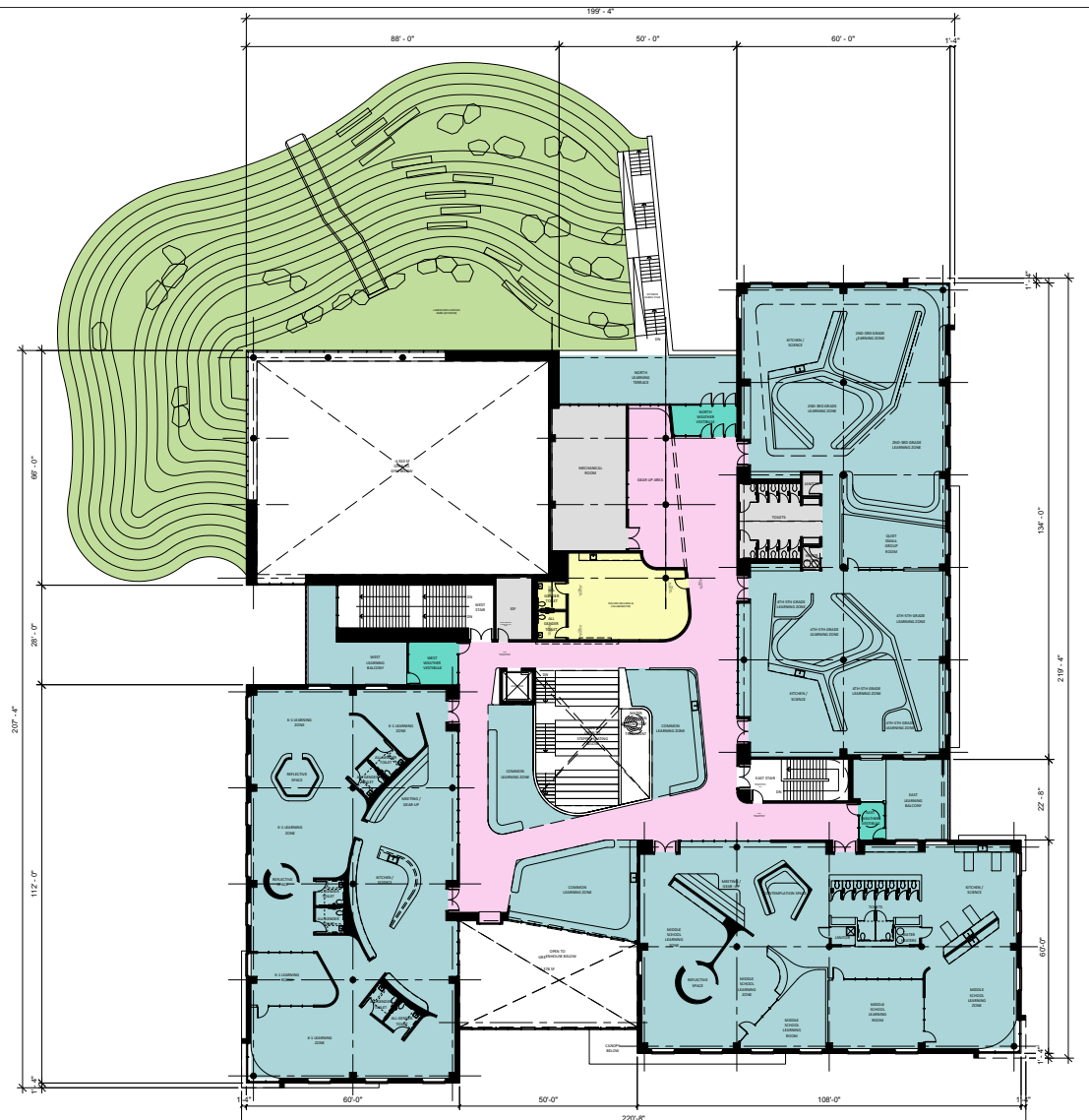
SITE & GROUND FLOOR PLAN





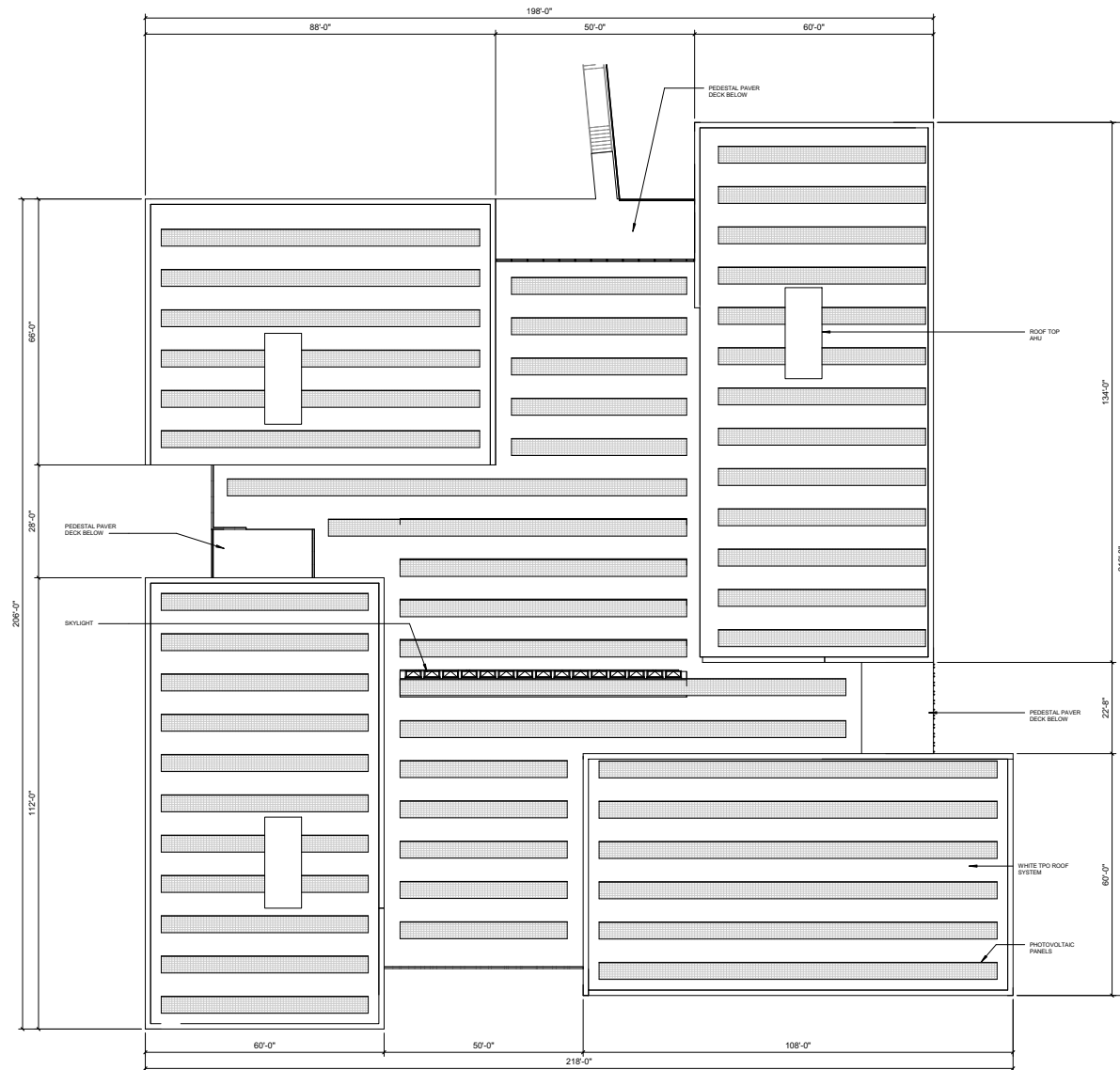
1 AGC SCHOOL BUILDING - FIRST FLOOR PLAN
1/16" = 1'-0"

FIRST FLOOR

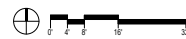


1 AGC SCHOOL BUILDING - SECOND FLOOR PLAN
1/16" = 1'-0"

SECOND FLOOR



1 AGC SCHOOL BUILDING - ROOF PLAN
1/16" = 1'-0"





SOUTH ELEVATION



EAST ELEVATION



SOUTH / MAIN ENTRY



EAST ENTRY



EAST ELEVATION – COMMUNITY HALL



VIEW FROM NORTHEAST CORNER



VIEW FROM NORTHWEST CORNER



NORTH ELEVATION



GYM & BERM



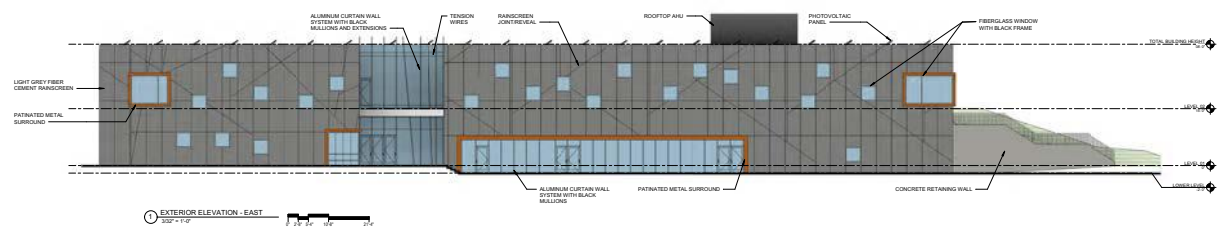
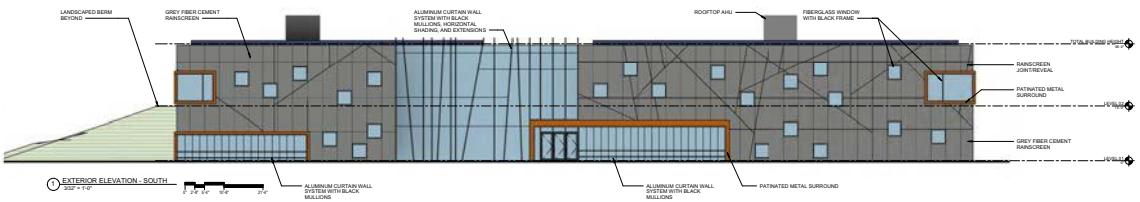
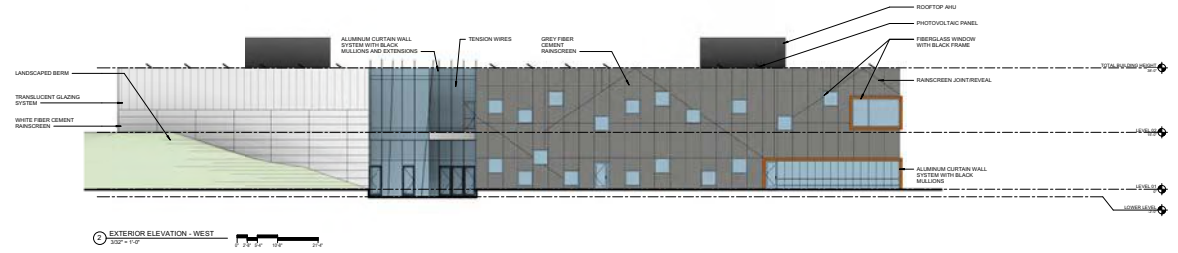
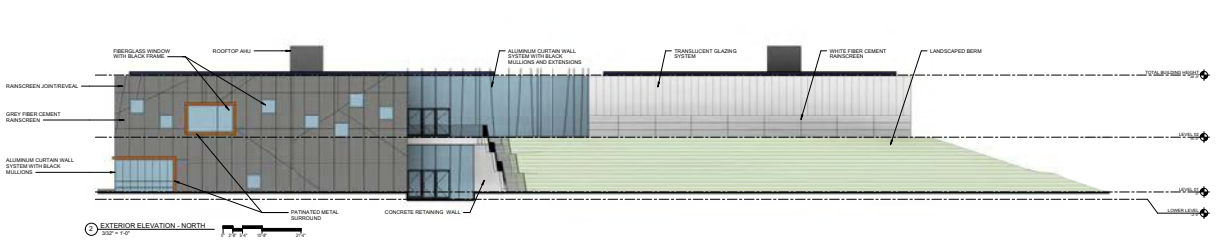
VIEW FROM SOUTHWEST CORNER



VIEW FROM NORTHWEST CORNER



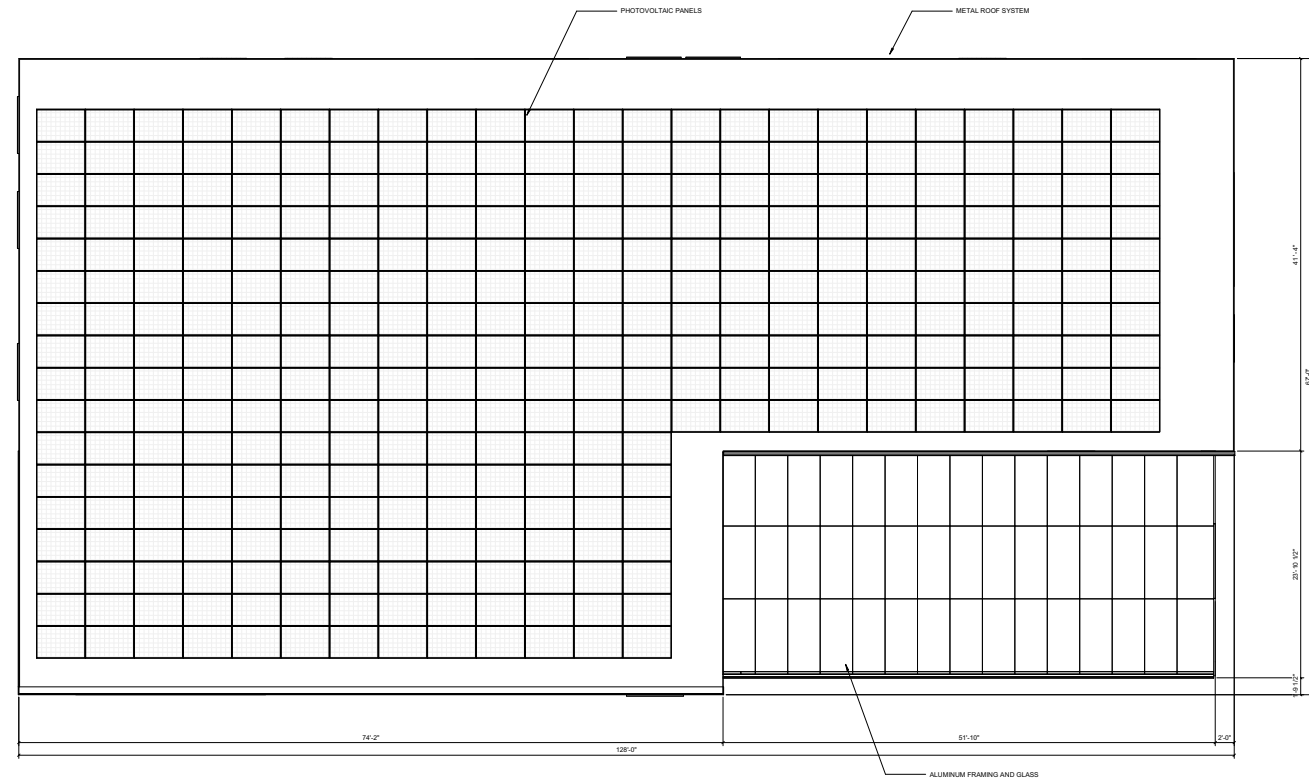
VIEW TO NORTH FROM SCHOOL SECOND FLOOR





1 BARN / GREENHOUSE - FLOOR PLAN
3/16" = 1'-0"

FIRST FLOOR



1 BARN / GREENHOUSE - ROOF PLAN
3/16" = 1'-0"

ROOF PLAN



BARN, GREENHOUSE & INSTITUTE – VIEW FROM SE



BARN – VIEW FROM SW



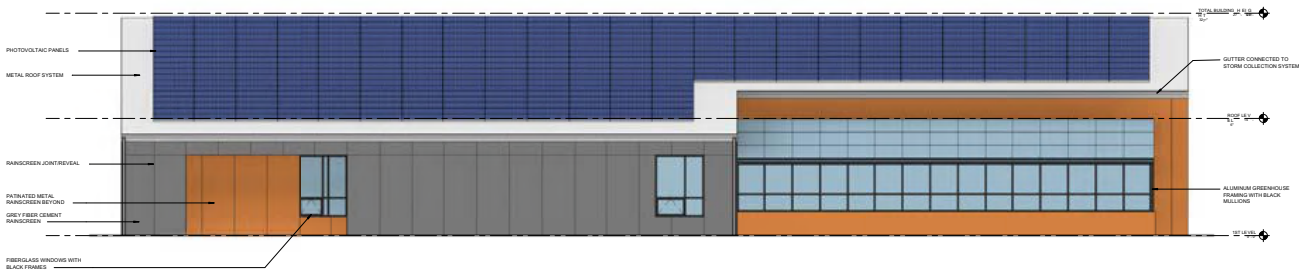
INSTITUTE- VIEW FROM SE



INSTITUTE – VIEW FROM SW



BARN / GREENHOUSE ELEVATION - NORTH
3/10' x 1/2"



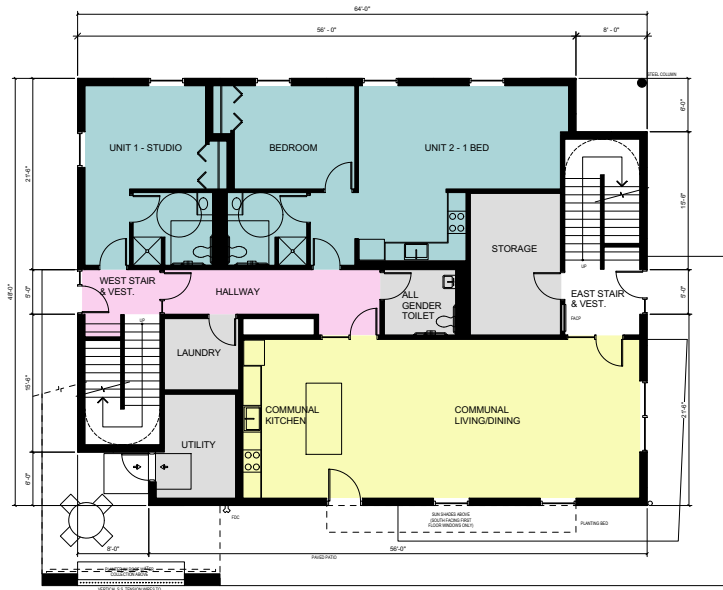
BARN / GREENHOUSE ELEVATION - SOUTH
3/10' x 1/2"



BARN / GREENHOUSE ELEVATION - EAST
3/10' x 1/2"



BARN / GREENHOUSE ELEVATION - WEST
3/10' x 1/2"



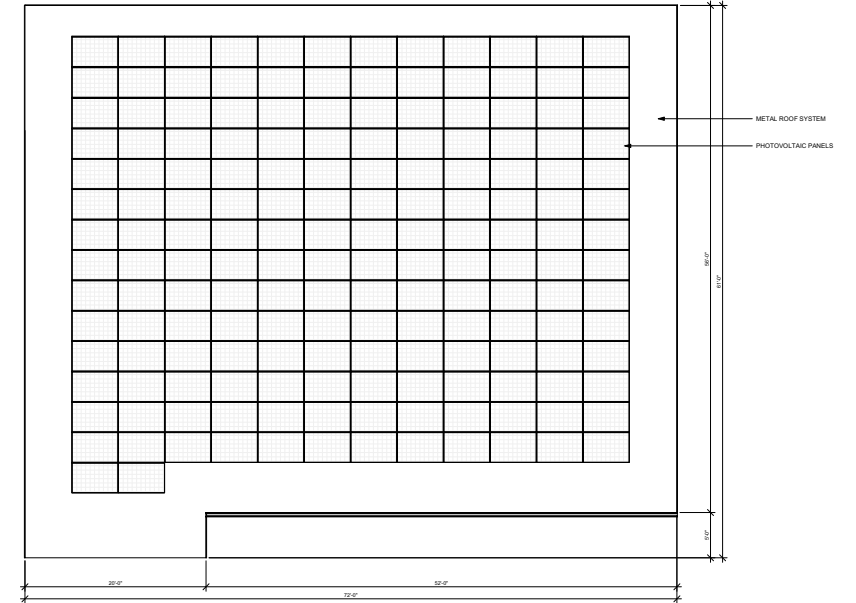
1 INSTITUTE - FIRST FLOOR PLAN
3/16" = 1'-0"

FIRST FLOOR



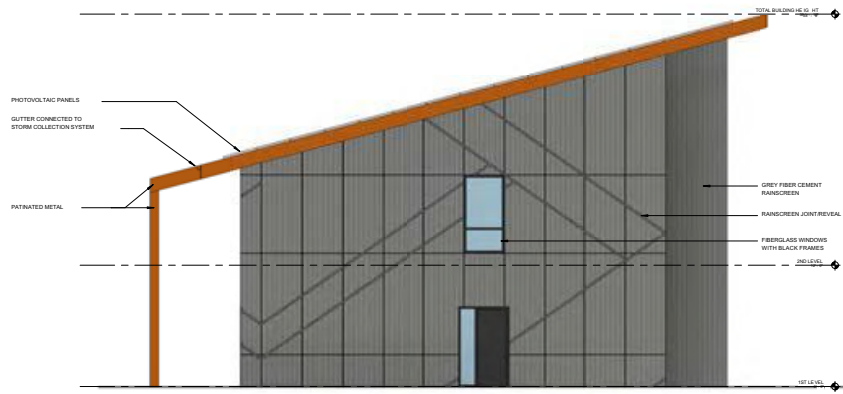
2 INSTITUTE - SECOND FLOOR PLAN
3/16" = 1'-0"

SECOND FLOOR

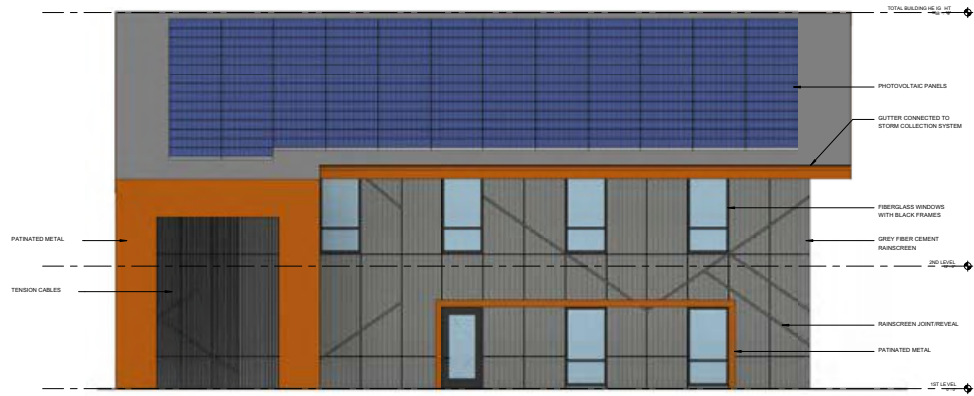


1 INSTITUTE - ROOF PLAN
3/16" = 1'-0"

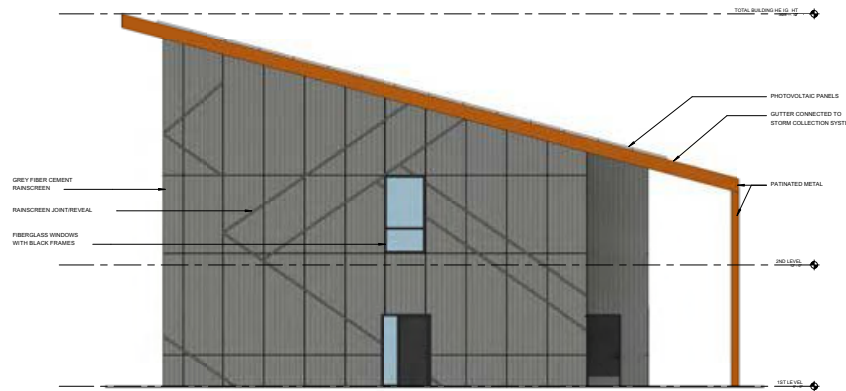
ROOF PLAN



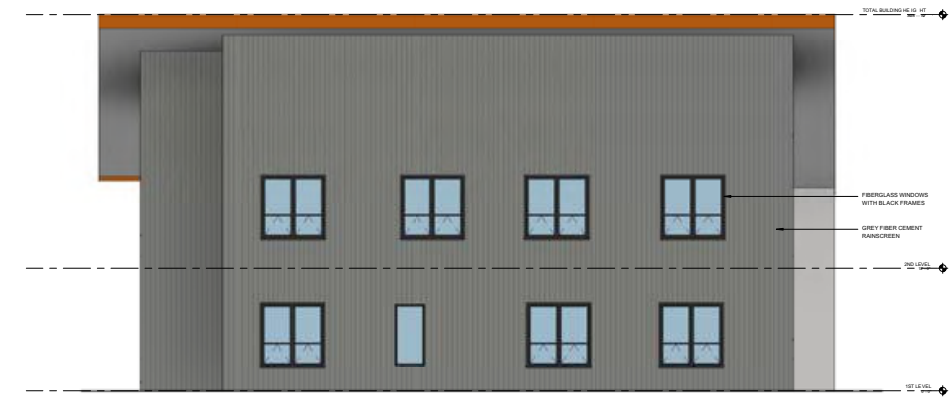
1 INSTITUTE ELEVATION - EAST
3/16" = 1'-0"



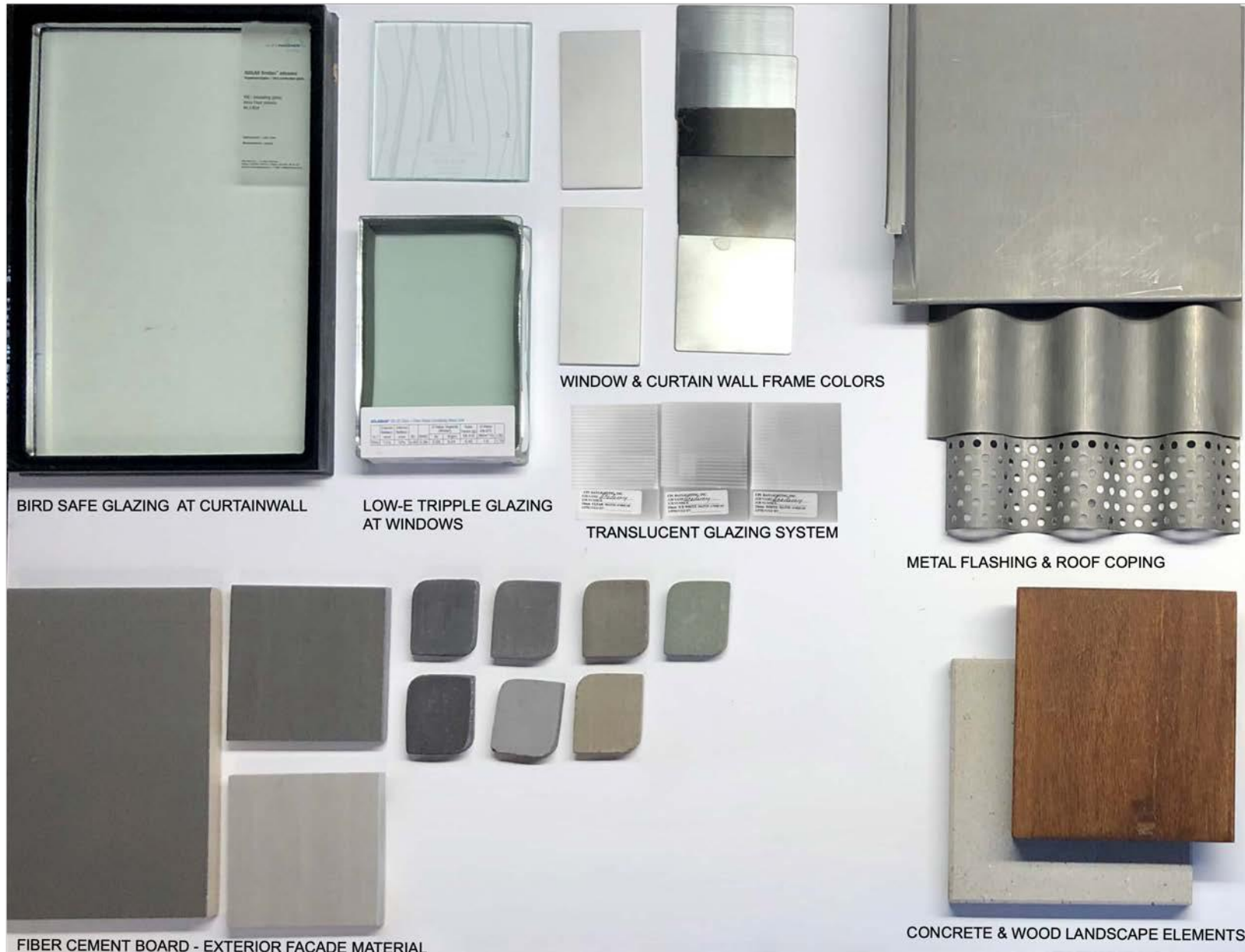
1 INSTITUTE ELEVATION - SOUTH
3/16" = 1'-0"



2 INSTITUTE ELEVATION - WEST
3/16" = 1'-0"



2 INSTITUTE ELEVATION - NORTH
3/16" = 1'-0"



BIRD SAFE GLAZING AT CURTAINWALL

LOW-E TRIPPLE GLAZING AT WINDOWS

WINDOW & CURTAIN WALL FRAME COLORS

TRANSLUCENT GLAZING SYSTEM

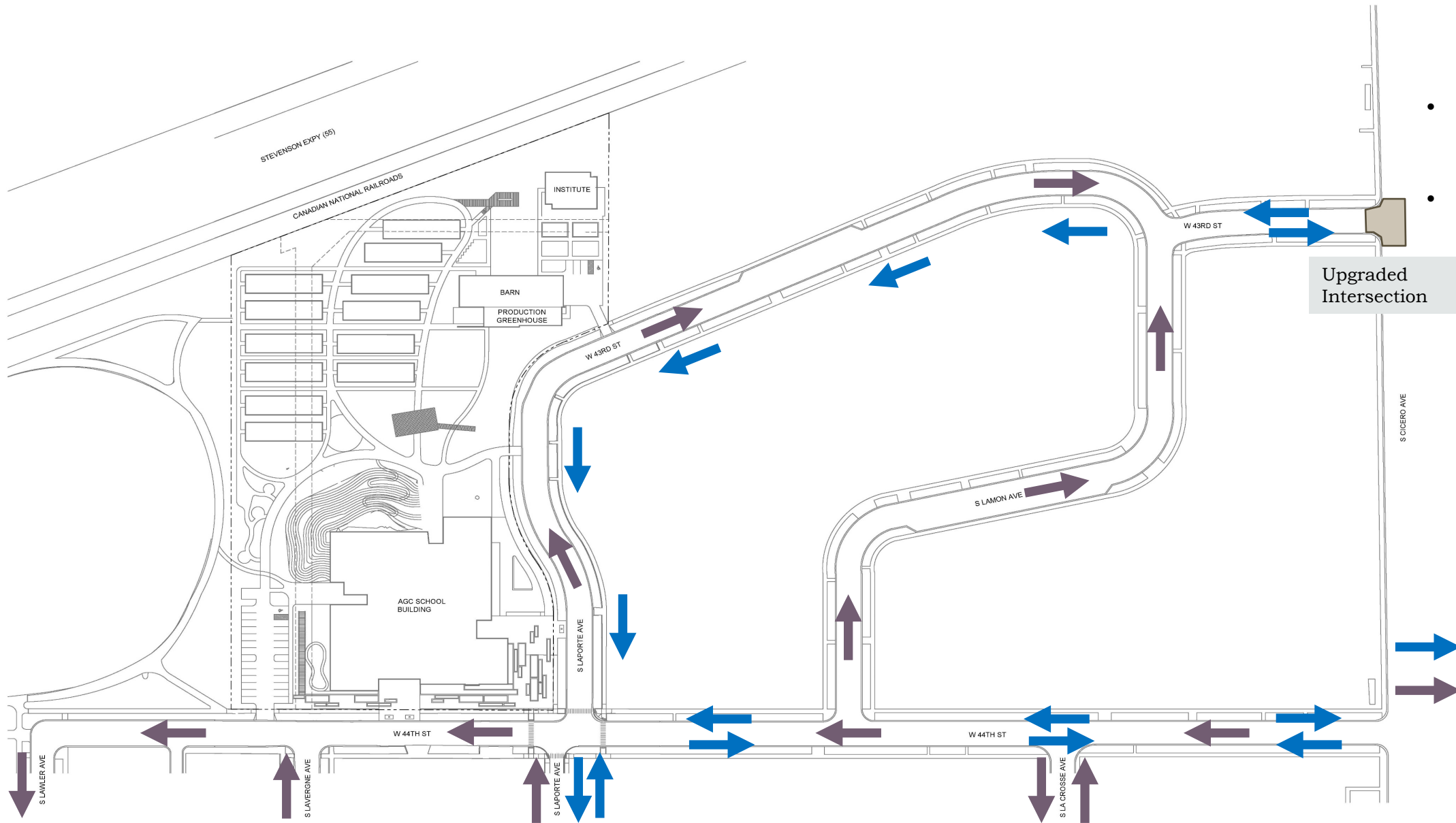
METAL FLASHING & ROOF COPING


FIBER CEMENT BOARD - EXTERIOR FACADE MATERIAL

CONCRETE & WOOD LANDSCAPE ELEMENTS

Transportation Changes

- Make directional travel changes as shown
- Upgrade Intersection of Cicero and 43rd



 Proposed Traffic Routing
 Existing Traffic Routing



PROJECT REVIEW COMMITTEE COMMENTS

Project Description: Academy for Global Citizenship
Location: 4300-4358 S. Laporte Ave.
Review Date: 6/10/2020

Choose one: approved (CONDITIONAL) not approved
Public Way Comments:

1. See comments below.

Review coordinator:
Karen Rogulja
CDOT City Planner
312-744-8843

Choose one: approved not approved
Traffic Comments:

Site Plan Comments

1. Construct ADA Ramps to CDOT Standards including curb flares and detectable warning tiles.
2. Driveways are to be constructed with flares and a pedestrian accessible crossing as illustrated in Option A (top detail) on Sheet B-2-3 of CDOT's *Rules & Regulations For Construction in the Public Way*: <https://www.chicago.gov/content/dam/city/depts/cdot/Construction%20Guidelines/2019/2019%20CDOT%20Rules%20and%20Regs%20012119.pdf>
Show in site plan.

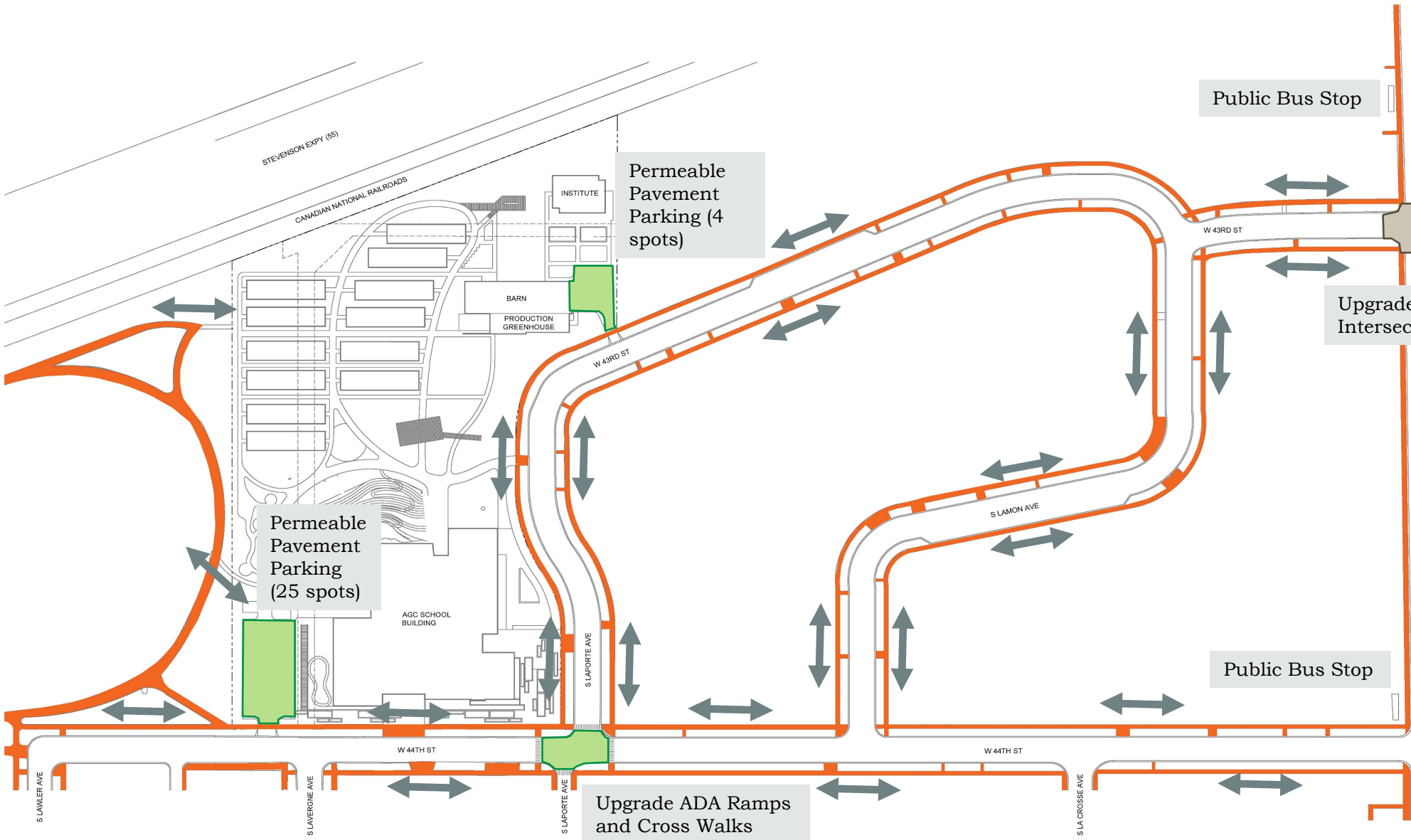
Traffic Study Comments

1. CDOT concurs with the study's recommendation to make 44th two-way between Cicero and the first alley west of Lavergne.
2. CDOT recommends the following street directional changes:
 - Make 43rd St. two-way between Cicero and Lamon/Laporte-43rd junction
 - Make 43rd-Laporte one-way westbound-to-southbound. All drop-off/pick-up activities should be done on this section of Laporte. One-way pattern will allow plenty of room for drop-off/pick-up, queuing, and still allow for by-pass lane. There should not be any drop-off/pick-up on 44th St. This is based on our experience with other schools in the City.
 - Make Lamon one-way northbound
 - Make Laporte two-way between 44th and 45th
 - Note that due to heavy traffic volumes on Cicero and minimal gaps in traffic, most parents will likely arrive and leave via the signalized intersection of 43rd-Cicero. Parents will enter from 43rd/Cicero, head to one-way westbound-southbound Laporte to drop-off/pick-up their students, head south to 44th, go eastbound on 44th to reach Lamon, take one-way northbound Lamon to two-way 43rd to exit at 43rd/Cicero.

Traffic Study Comments

1. CDOT concurs with the study's recommendation to make 44th two-way between Cicero and the first alley west of Lavergne.
2. CDOT recommends the following street directional changes:
 - Make 43rd St. two-way between Cicero and Lamon/Laporte-43rd junction
 - Make 43rd-Laporte one-way westbound-to-southbound. All drop-off/pick-up activities should be done on this section of Laporte. One-way pattern will allow plenty of room for drop-off/pick-up, queuing, and still allow for by-pass lane. There should not be any drop-off/pick-up on 44th St. This is based on our experience with other schools in the City.
 - Make Lamon one-way northbound
 - Make Laporte two-way between 44th and 45th
 - Note that due to heavy traffic volumes on Cicero and minimal gaps in traffic, most parents will likely arrive and leave via the signalized intersection of 43rd-Cicero. Parents will enter from 43rd/Cicero, head to one-way westbound-southbound Laporte to drop-off/pick-up their students, head south to 44th, go eastbound on 44th to reach Lamon, take one-way northbound Lamon to two-way 43rd to exit at 43rd/Cicero.

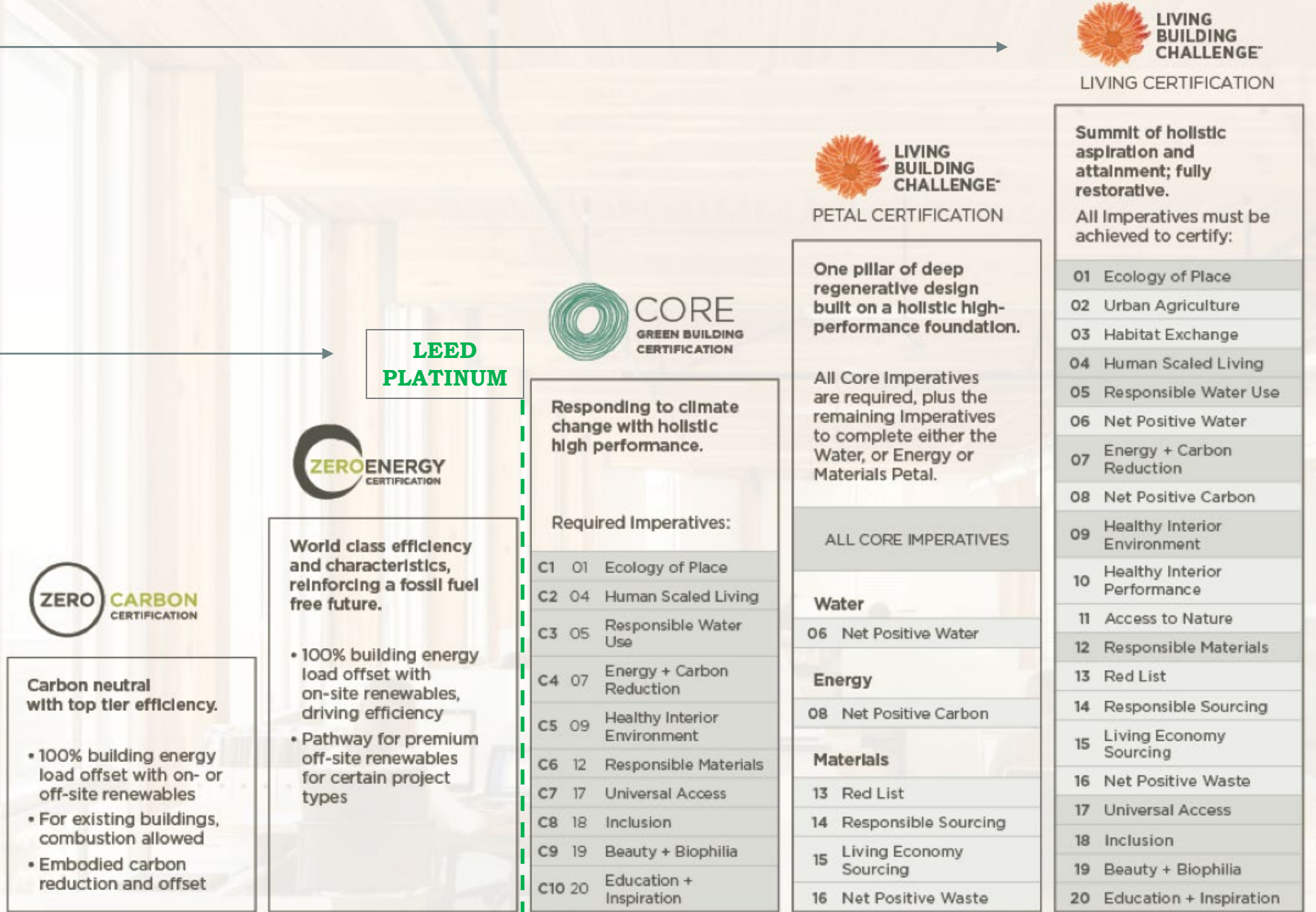
Parking and Pedestrian Connectivity



- Upgrade ADA Ramps and Cross Walks at all four corners of 43rd St. and Laporte Ave.
- Multiple Pedestrian Routes from Public Bus Stops
- 25-Spot Permeable Pavement Parking Lot
- Pedestrian Connection to LeClaire Courts-Hearst Park
- Upgrade Intersection of Cicero and 43rd

LIVING CERTIFICATION

LEED PLATINUM CERTIFICATION RELATIVE TO LBC CERTIFICATION SYSTEMS



Carbon neutral with top tier efficiency.

- 100% building energy load offset with on- or off-site renewables
- For existing buildings, combustion allowed
- Embodied carbon reduction and offset

World class efficiency and characteristics, reinforcing a fossil fuel free future.

- 100% building energy load offset with on-site renewables, driving efficiency
- Pathway for premium off-site renewables for certain project types

Responding to climate change with holistic high performance.

Required Imperatives:

C1	01	Ecology of Place
C2	04	Human Scaled Living
C3	05	Responsible Water Use
C4	07	Energy + Carbon Reduction
C5	09	Healthy Interior Environment
C6	12	Responsible Materials
C7	17	Universal Access
C8	18	Inclusion
C9	19	Beauty + Biophilia
C10	20	Education + Inspiration

One pillar of deep regenerative design built on a holistic high-performance foundation.

All Core Imperatives are required, plus the remaining Imperatives to complete either the Water, or Energy or Materials Petal.

ALL CORE IMPERATIVES

Water

06 Net Positive Water

Energy

08 Net Positive Carbon

Materials

13 Red List
14 Responsible Sourcing
15 Living Economy Sourcing
16 Net Positive Waste

Summit of holistic aspiration and attainment; fully restorative.
All Imperatives must be achieved to certify:

01	Ecology of Place
02	Urban Agriculture
03	Habitat Exchange
04	Human Scaled Living
05	Responsible Water Use
06	Net Positive Water
07	Energy + Carbon Reduction
08	Net Positive Carbon
09	Healthy Interior Environment
10	Healthy Interior Performance
11	Access to Nature
12	Responsible Materials
13	Red List
14	Responsible Sourcing
15	Living Economy Sourcing
16	Net Positive Waste
17	Universal Access
18	Inclusion
19	Beauty + Biophilia
20	Education + Inspiration

The Living Building Challenge is composed of 20 Imperatives grouped into seven petals. Some Imperatives are not required for all Typologies.

LIVING BUILDING CERTIFICATION REQUIREMENTS

PETAL		IMPERATIVE	TYPOLOGY			
			New Building	Existing Building	Interior	Landscape + Infrastructure
PLACE		01 Ecology of Place	Required	Requirement dependent on scope	Not required	Required
		02 Urban Agriculture	Required	Required	Not required	Not required
		03 Habitat Exchange	Required	Required	Required	Required
		04 Human Scaled Living	Required	Requirement dependent on scope	Requirement dependent on scope	Not required
WATER	 	05 Responsible Water Use	Required	Required	Requirement dependent on scope	Required
	 	06 Net Positive Water	Required	Required	Not required	Required
ENERGY		07 Energy + Carbon Reduction	Required	Required	Requirement dependent on scope	Required
		08 Net Positive Energy	Required	Required	Required	Required
HEALTH + HAPPINESS		09 Healthy Interior Environment	Required	Required	Required	Not required
		10 Healthy Interior Performance	Required	Required	Required	Not required
		11 Access to Nature	Required	Required	Required	Not required
MATERIALS		12 Responsible Materials	Required	Required	Required	Required
		13 Red List	Required	Required	Required	Required
		14 Responsible Sourcing	Required	Required	Required	Required
		15 Living Economy Sourcing	Required	Required	Required	Required
		16 Net Positive Waste	Required	Required	Required	Required
EQUITY		17 Universal Access	Required	Requirement dependent on scope	Requirement dependent on scope	Requirement dependent on scope
		18 Inclusion	Required	Required	Required	Required
BEAUTY		19 Beauty + Biophilia	Required	Required	Required	Required
		20 Education + Inspiration	Required	Required	Required	Required

-  CORE IMPERATIVE
-  SCALE JUMPING ALLOWED
-  HANDPRINTING IMPERATIVE
-  IMPERATIVE REQUIRED FOR TYPOLOGY
-  REQUIREMENT DEPENDENT ON SCOPE
-  NOT REQUIRED FOR TYPOLOGY

Project will utilize an integrated design approach with Low Impact Development and sustainable techniques to treat stormwater runoff in accordance with prescribed rate, volume and quality control.

- Use of rain garden/biofiltration areas that integrate runoff quantity and quality control
- Promote infiltration, evaporation, transpiration as natural means of volumetric control and carbon sequestration
- Capture, treat and reuse runoff from all roof surfaces to meet water demands of Project
- Provide educational programming for sustainable stormwater management areas to inform of the hydrologic cycle and how natural treatment improves environmental concerns of the 21st century

The Academy for Global Citizenship is a Public, Tuition Free School, Open to Chicago Residents Without Test-in Requirements which is both Dual Language and is authorized as an International Baccalaureate (IB) World School

AGC currently serves nearly 500 students, who represent a 96% minority student population and 24% of which are special needs. 95% of students live within 5 miles of the new campus.

One of the hallmarks of AGC success is the deep ties it has formed with students, parents and the community via Extended Learning Programs. These programs strengthen the learning environment by engaging students in meaningful out-of-school activities (such as tutoring, gardening and social entrepreneurship training). Extended Learning Programs also engage parents, families and community members in evening programs and workshops focused on a range of topics, including wellness, sustainable living and healthy parenting practices.

AGC offers an entrepreneurship-focused summer camp, which allows students to work in the campus garden, create their own farmers market and develop a social enterprise.

Food Production & Nutrition

Half the area of the new six-acre campus is reserved for urban agriculture and nature-based playscapes. The entire farm provides educational experiences with certain areas devoted to hands-on student and community learning, allowing students and neighbors to plant, harvest, and eat foods related to their units of study, their interests and their cultures. In partnership with Urban Growers Collective, the campus will provide year-round garden education and community engagement opportunities via greenhouses, seasonal gardens, hoop houses, community gardens, walking trails, a neighborhood farmers market, a learning barn, a food forest, an orchard and berry bushes, brambles and grapevines. A variety of spaces will support culinary arts and positive nutrition, including a community teaching kitchen that will provide hands-on classes for families and neighboring residents. Produce grown above and beyond what is required for student meals will be sold at affordable prices to the community through AGC's Community Farm Café.

The campus offers numerous opportunities for access to and use by the surrounding community of the community hall, café and farm store.

The school development project will create both temporary construction jobs as well as permanent jobs on site as follows:

Permanent Jobs: projected to employ 25-30 additional staff members to comprise a total of 84 positions

Construction Jobs: 120 FTE, which typically equates to more than 1000 workers on site through the duration of the project

Subtotal Construction = \$42,000,000. Noting that construction costs represent 40% material and 60% labor, the subtotal of Construction Labor is \$25,200,000. Since scale for construction workers averages \$105/hr, construction labor will be performed through approximately 240,000 total work hours. The standard number of hours worked per year is 2000 hours. As such, there are about 120 jobs from a full time equivalency (FTE) stand point. Because construction is temporary and trade based, typical work is performed by 8 to 10 times the individuals employed, rather than FTE. As such, it is likely that between 960 and 1200 who will receive a paycheck as a result of this project.

1. *Community Benefits Agreement (CBA) with CHA and Community Residents*

2. *Memorandum of Understanding (MOU) with Leclaire Courts Local Advisory Council and the Hearst Community Organization*

3. *City of Chicago Executive Order No. 2017-2 regarding enhancement of economic growth, opportunity, and prosperity of local residents and minority and women-owned business (M/WBEs) enterprises*

Pursuant to the aforementioned agreements and requirements, inclusionary procurement and hiring minimums (floors, not ceilings) have been set as follows:

BUSINESS PARTICIPATION

26% Participation from Qualified Minority Business Enterprises

6% Participation from Qualified Women Business Enterprises

CHA Section 3 Resident Owned Business Engagement

WORKFORCE PARTICIPATION

50% Participation from Chicago Residents

CHA Section 3 Resident Hiring



DPD Recommendations (staff to complete)

1. The proposed planned development addresses the goals of A Recipe for Health Places, co-led by the Chicago Department of Planning and Development by providing productive landscapes in a community with existing health disparities.
2. The proposed planned development promotes economically beneficial development patterns that are compatible with the character of existing neighborhood (per 17-8-0103), as evidenced by the design of the project, and the fact that the proposed design and the proposed uses are in context with the character of the adjacent properties, will meet the needs of the immediate community;
3. Promotes transit, pedestrian and bicycle use, ensures accessibility for persons with disabilities and minimizes conflicts with existing traffic patterns in the vicinity (per 17-8-0904-A- 1,2, 3 & 4), as evidenced by the site's close proximity to public transit in the form of CTA bus lines; the accessibility accommodations made on-site for the building users; pedestrian and bicycle ingress and egress options provided to the building users, and lastly ensuring that the design of the site works within the confines of the current existing traffic patterns at the site and creates little or no adverse impact to those patterns;



DPD Recommendations (staff to complete)

4. Building Orientation and Massing (per 17-8-0906-B), as evidenced by the project design which holds the corner up to the Laporte Avenue and 44th Street frontages and provides large transparent windows to create an active building wall adjacent to the public rights of way, the project also uses creative design to integrate and daylight sustainability features for its occupants and the general public.
5. All sides and areas of the buildings that are visible to the public should be treated with materials, finishes, and architectural details that are of high-quality and appropriate for use on primary public-right-of-way-facing façade (per 17-8-0907-B-3), as evidenced through the information contained within this report. The design should be consistent with the exhibits for this planned development, and the corresponding proposal renderings.