



CHICAGO DEPARTMENT OF
PLANNING & DEVELOPMENT

CHICAGO PLAN COMMISSION

Department of Planning and Development

937 N. Rush St. (Lakefront Protection Ordinance)

937 N. Rush St. (42nd Ward)

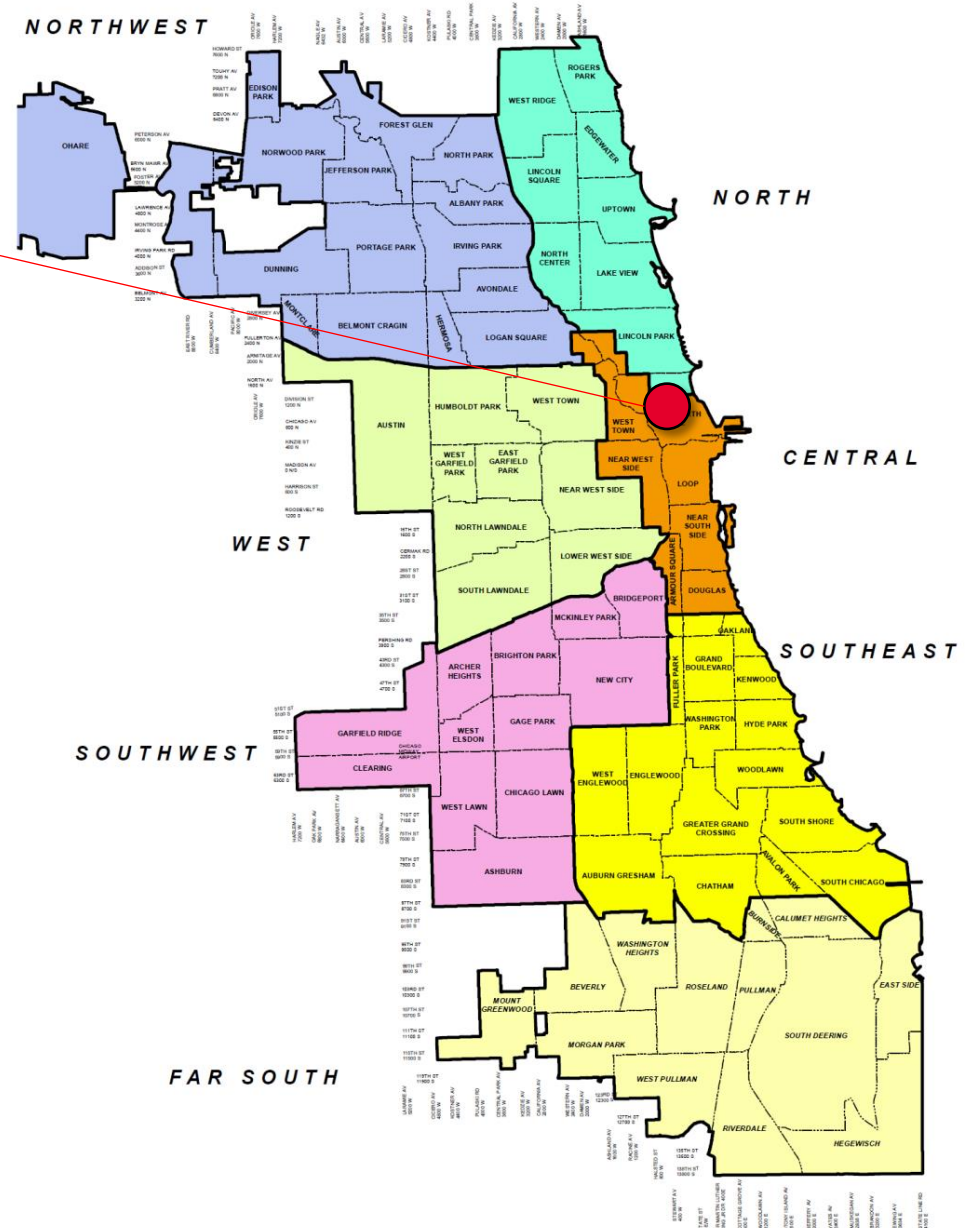
JULIE PISZCZEK, MONOCEROS CORPORATION

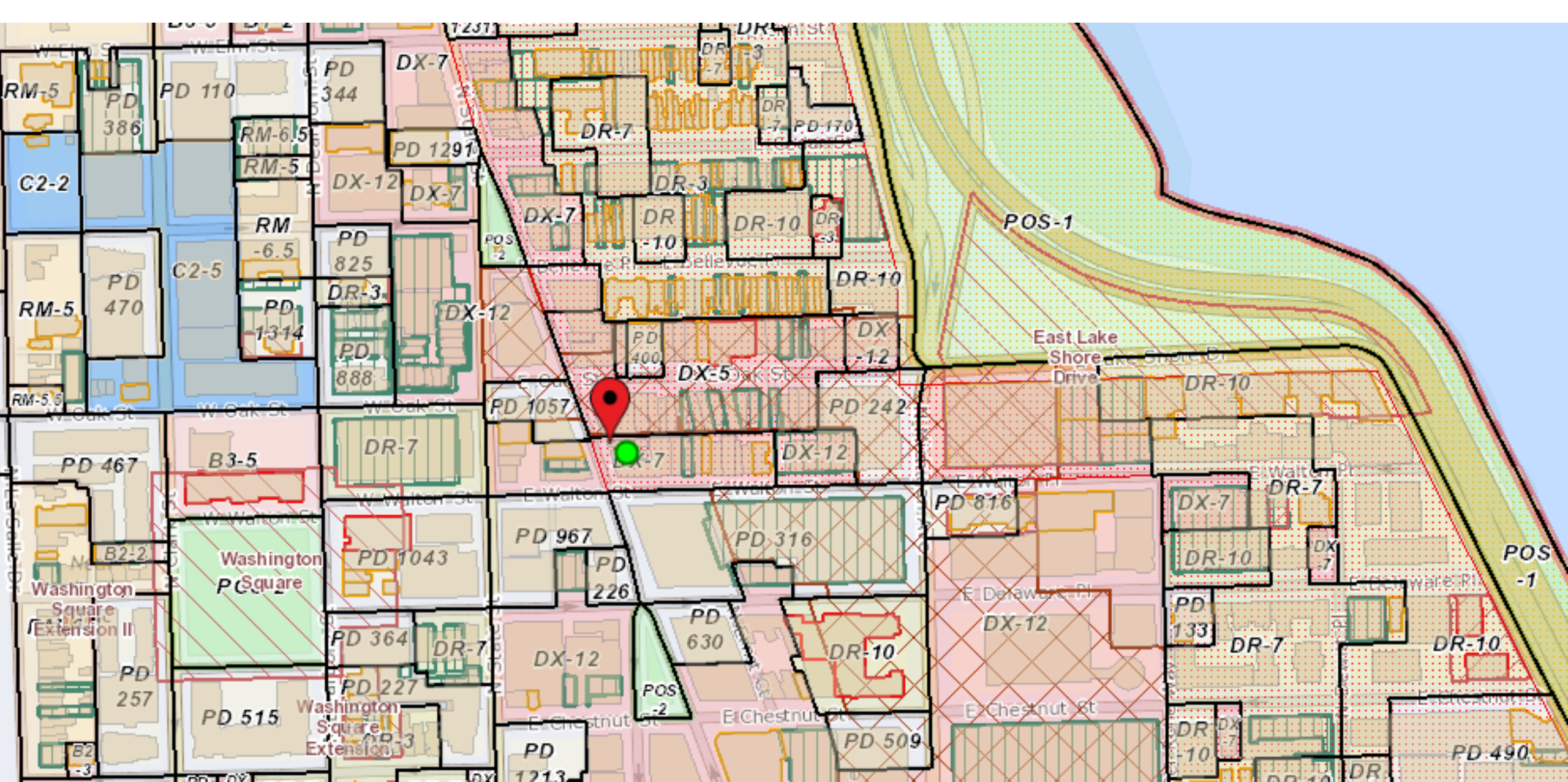
7/16/2020

Community Area Snap Shot

COMMUNITY AREA INFORMATION:
Near North Side Community Area

Project
Location





SITE CONTEXT PLAN



SITE CONTEXT PLAN



SITE CONTEXT PLAN

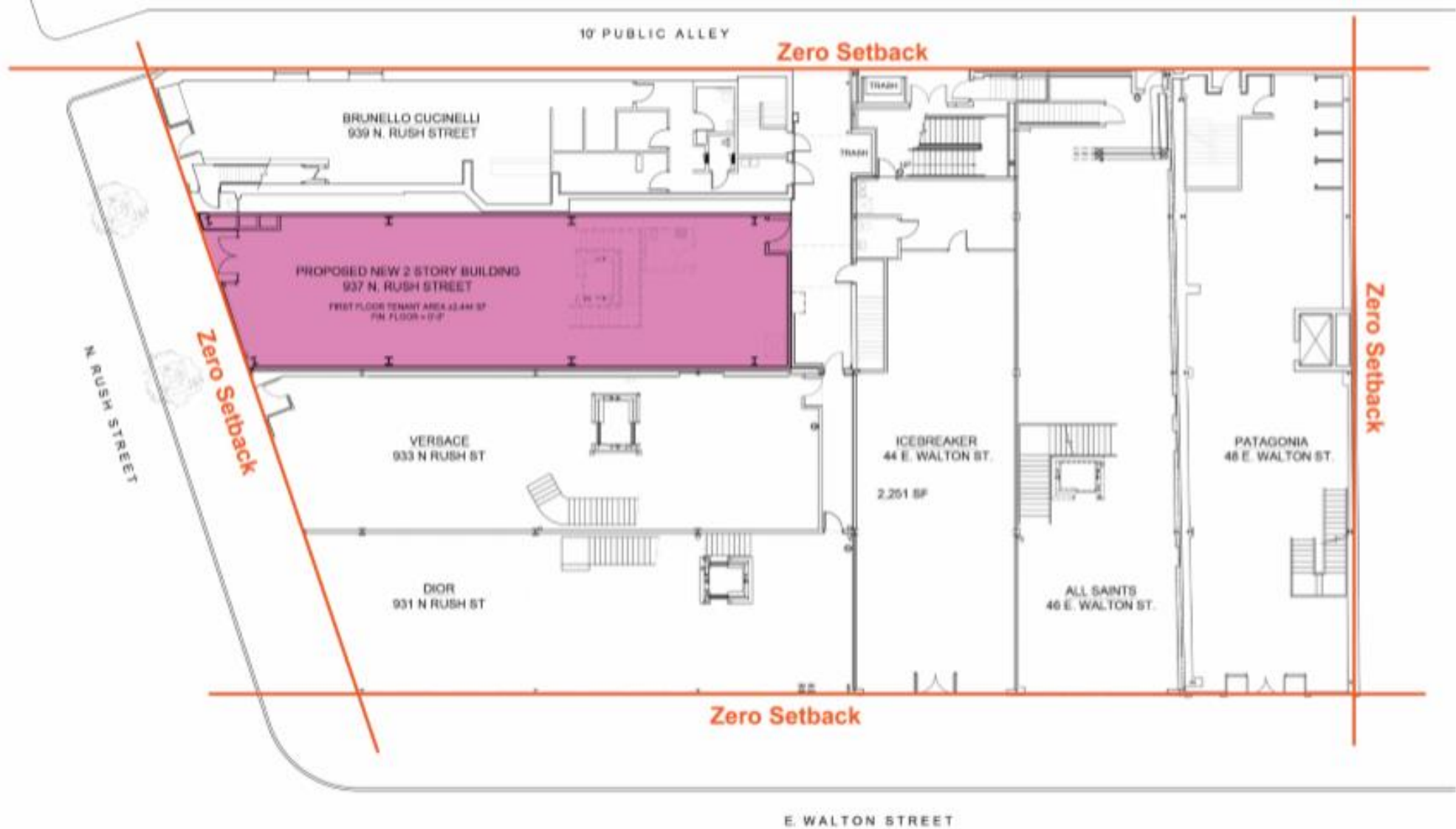


SITE CONTEXT PLAN





SITE CONTEXT PLAN

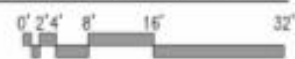


937 N. RUSH STREET DEVELOPMENT

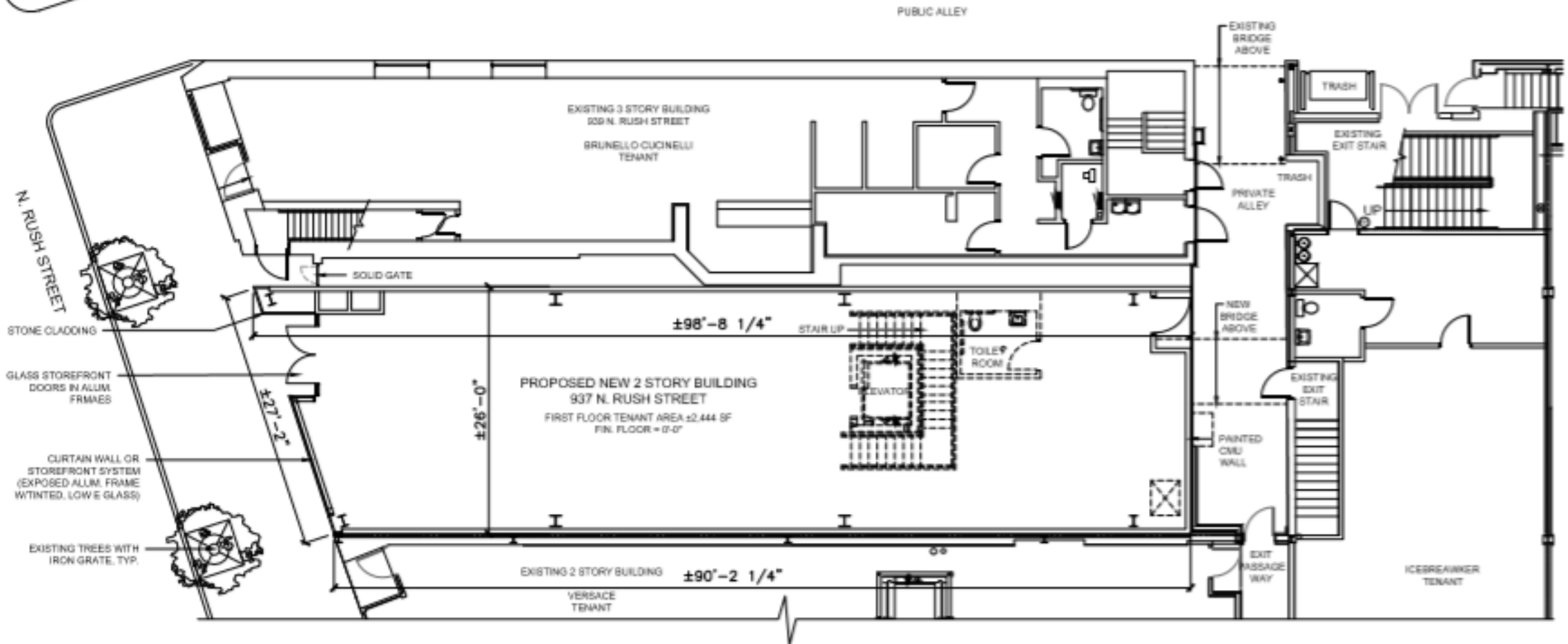
RUSH WALTON, LLC



PROPOSED SITE PLAN



MAY 7th, 2020



937 N. RUSH STREET DEVELOPMENT

RUSH WALTON, LLC

MONOCEROS CORPORATION

Superior Commercial Construction Management



STEPHEN RANKIN ASSOCIATES

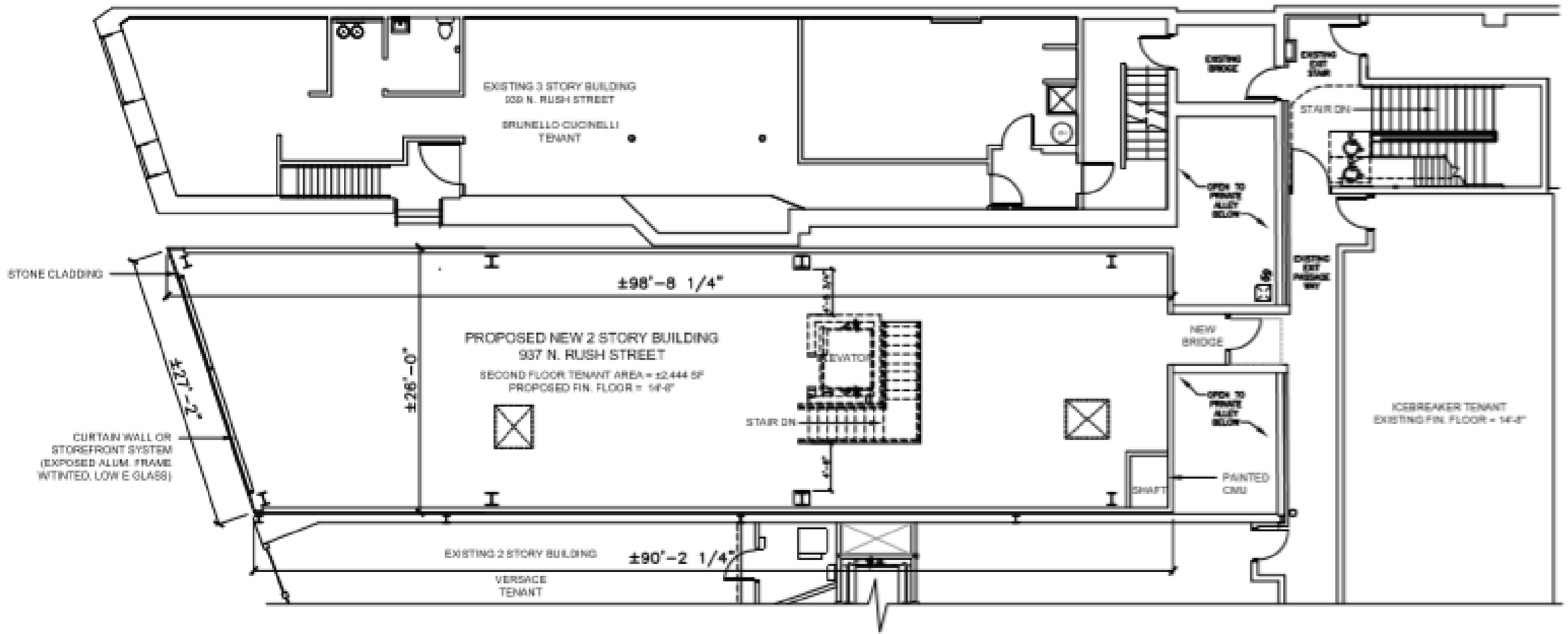
DISTINCTIVE ARCHITECTURAL DESIGN & PLANNING



GROUND FLOOR PLAN



MAY 7th, 2020



937 N. RUSH STREET DEVELOPMENT

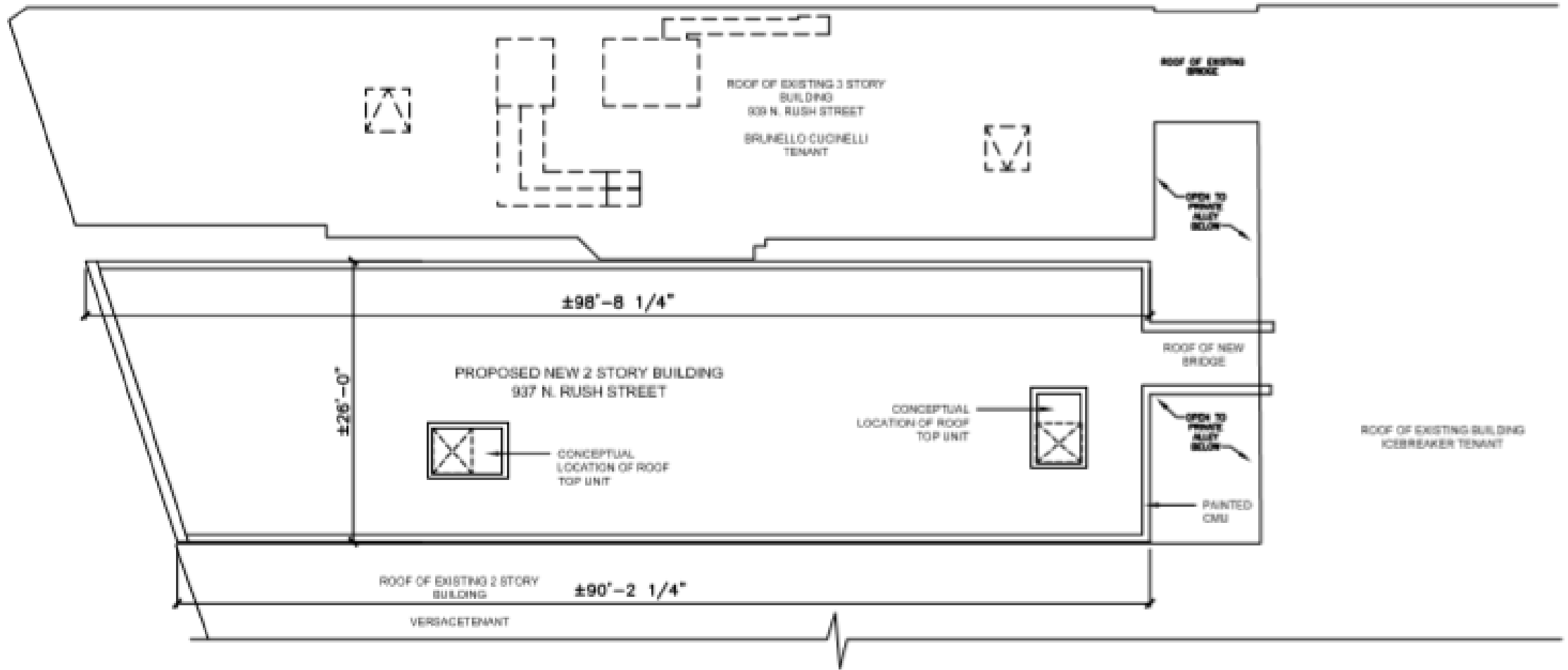
RUSH WALTON, LLC



SECOND FLOOR PLAN

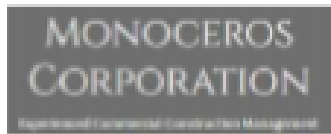


MAY 7th, 2020



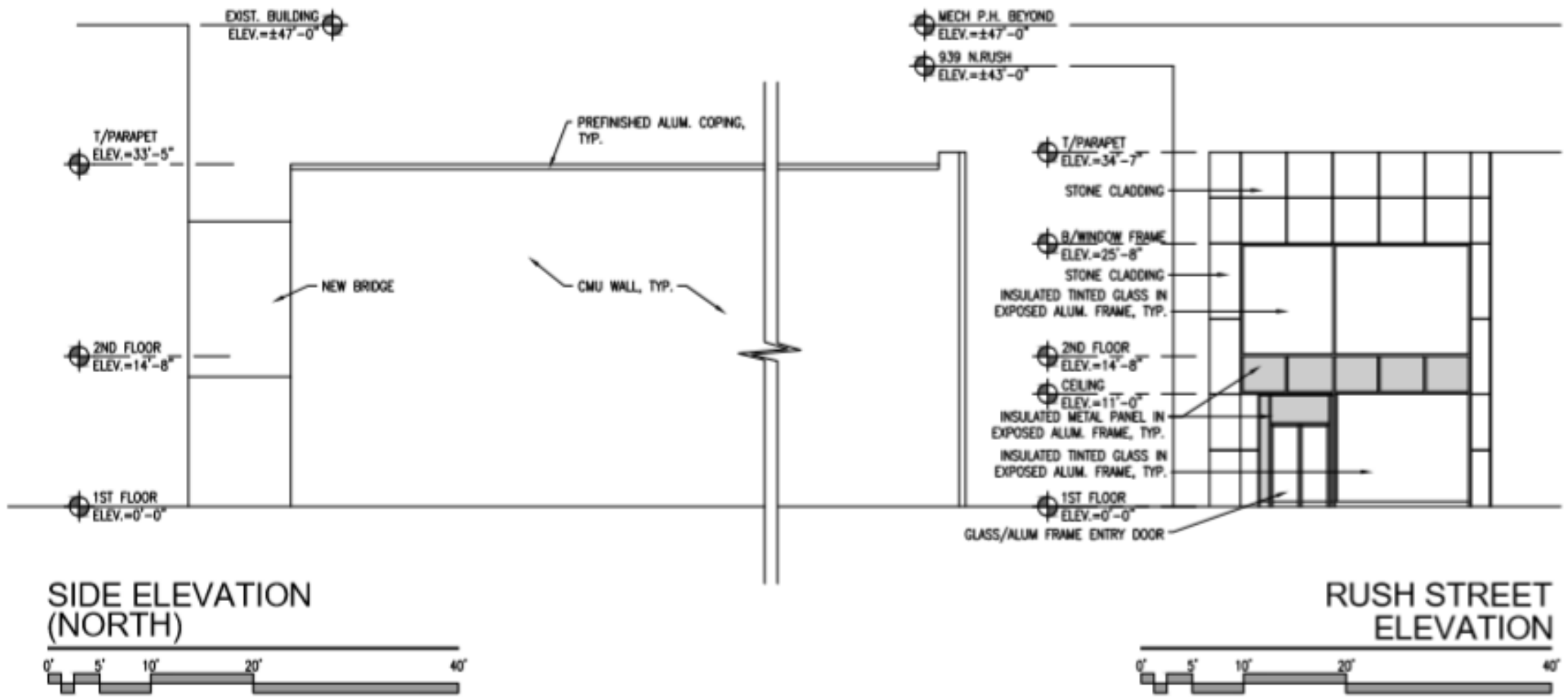
937 N. RUSH STREET DEVELOPMENT

RUSH WALTON, LLC



MAY 7th, 2020

ROOF PLAN

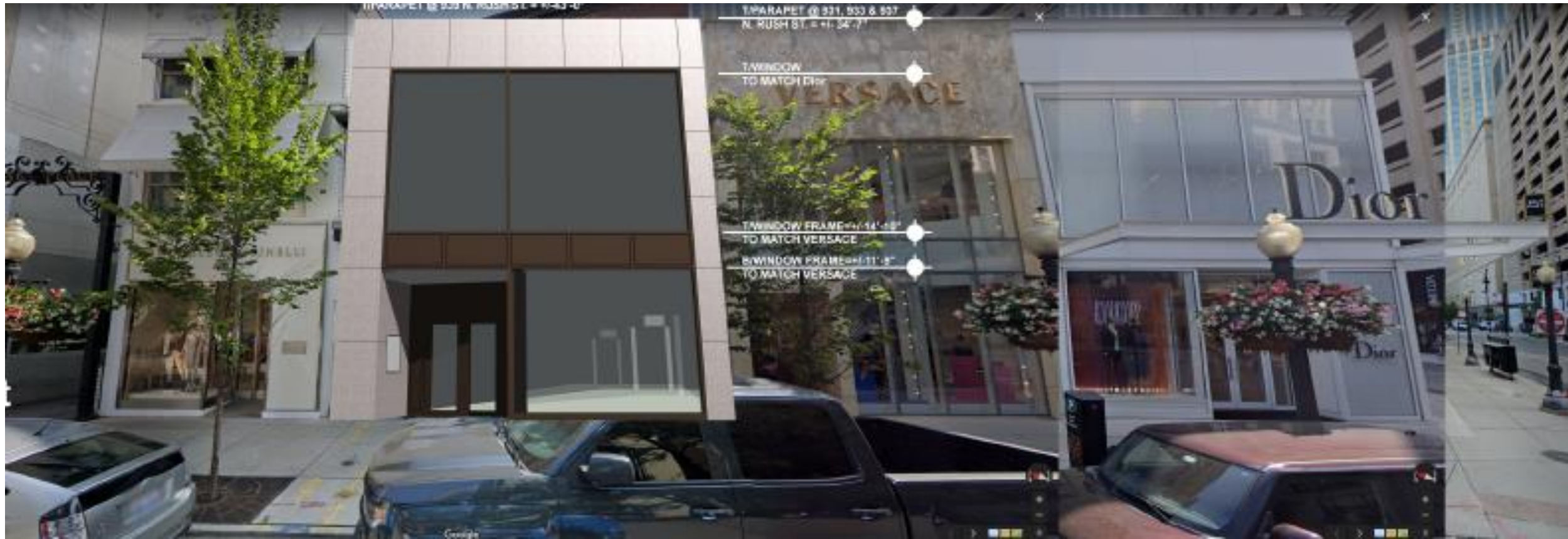


937 N. RUSH STREET DEVELOPMENT

RUSH WALTON, LLC



MAY 7th, 2020



T:PARAMET @ 921, 933 & 937
N: RUSH ST. @ 41, 34-77

T:WINDOW
TO MATCH Dior

T:WINDOW FRAME @ 14'-11" @ 8'
TO MATCH VERSACE

B:WINDOW FRAME @ 11'-9" @ 11'-9"
TO MATCH VERSACE

BUILDING ELEVATION (WEST)



937 North Rush Street Development Rush Walton LLC.

MONOCEROS
CORPORATION

STEPHEN RANKIN ASSOCIATES
DISTINCTIVE ARCHITECTURAL DESIGN & PLANNING

BUILDING ELEVATION (IDENTIFY DIRECTION)



937 North Rush Street Development
Rush Walton LLC.

MONOCEROS
CORPORATION

 **STEPHEN RANKIN ASSOCIATES**
DISTINCTIVE ARCHITECTURAL DESIGN & PLANNING

BUILDING ELEVATION (IDENTIFY DIRECTION)



Lakefront Protection - 14 Policies

1. Complete the publicly owned and locally controlled park system along the entire lakefront
2. Maintain and enhance the landscaped, spacious, and continuous character of the lakeshore parks
3. Continue to improve the water quality and ecological balance of Lake Michigan
4. Preserve the cultural, historical, and recreational heritage of the lakeshore parks
5. Maintain and improve the formal character and open water vista of Grant Park with no new above-ground structures permitted
6. Increase the diversity of recreational opportunities while emphasizing lake-oriented leisure activities
7. Protect and develop natural lakeshore park and water areas for wildlife habitation
8. Increase personal safety
9. Design all lake edge and lake construction to prevent detrimental shoreline erosion
10. Ensure a harmonious relationship between the lakeshore parks and community edges but in no instance allow private development east of Lake Shore Drive
11. Improve access to lakeshore parks and reduce vehicular traffic on secondary park roads
12. Strengthen the parkway characteristics of Lake Shore Drive
13. Ensure all port, water supply, and public facilities are designed to enhance lakefront character
14. Coordinate all public and private development within the water, park, and community zones



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DPD Recommendations

- ❖ The proposal is consistent with the Purposes of the Lake Michigan and Chicago Lakefront Protection Ordinance and the Policies of the Lakefront Plan of Chicago