

APPLICATION NUMBER _____

CITY OF CHICAGO
AN APPLICATION TO THE CHICAGO PLAN COMMISSION UNDER THE LAKE MICHIGAN AND
CHICAGO LAKEFRONT PROTECTION ORDINANCE

(This Application Must Be Typewritten)

The Chicago Plan Commission has provided this Application Form in accordance with Section 194B-6.1 (a) of the Lake Michigan and Chicago Lakefront Protection Ordinance. The Conditions under which the provisions of this Ordinance are applicable are stated in Section 194B-5.1 of the Ordinance. The process of Plan Commission review and public hearing on each proposal within the Lake Michigan and Chicago Lakefront Protection District will commence with the Applicant's submission to the Chicago Plan Commission of a completed Application Form and the required proof of notice. Strict compliance with Section 194B-6.1(c) is required.

The staff of the Department of Planning is available to provide technical assistance to the Applicant, before preparation of his application, during the processing stages, and to review the application at submission to the Chicago Plan Commission. Copies of the Ordinance and this Application Form and examples of forms for both notification and proof of notice, are available from the Commissioner of Planning, in Room 1003, Lakefront Unit, City Hall, 121 N. La Salle Street, Chicago, Illinois 60602. Phone 744-6551.

This Application Form consists of Five Parts on 17 pages:

- Part One: General Information
- Part Two: Character of Proposal
- Part Three: Zoning Information
- Part Four: Potential Impact of Proposal (2 Sections)
- Part Five: Disclosure Forms (6 Sections)

A copy of this Application will be available for public inspection in the office of the Commissioner of Planning, Room 1000, five days prior to the date of which the public hearing on this Application before the Chicago Plan Commission is to commence.

-SECTION BELOW FOR OFFICE USE ONLY-

Date of receipt in DP: _____ In Bldgs.: _____	ZBA action necessary? ____ yes ____ no: Type and Status: _____
Date of Applicant Notice to taxpayers of record: _____	Disclosure necessary? ____ yes ____ no
Date set for public hearing: _____	Simultaneous Planned Development processing ____ yes ____ no
Date on which Plan Commission published newspaper notice: _____	Previous Application this address? ____ yes ____ no; number: _____
Date of publication of report of Commissioner of DP: _____	Zoning map amendment? ____ yes ____ no: # ____
Date forwarded to: DIS ____; DSS ____; DPW ____; Pk. D. ____; Other _____	DISPOSITION Approved _____ Disapproved _____ Continued _____, to: _____ Date Applicant notified of decision: _____

SITE ADDRESS _____

GUIDELINES FOR COMPLETING PART ONE OF THE APPLICATION

Part One of this Application provides general information to the Plan Commission for use in preparing its public notices of the proposal set forth in the Application and in preparing its review of that proposal.

1. The date entered in I. should be the date on which the Application is filed.
2. The location of the site of the proposal should be given by street address; if there is no address, the location must be described in relation to existing streets, rights-of-way or other fixed points of reference.
3. The Applicant must state his own name, address and telephone number and the name, address and telephone number of the owner of the subject property. The Applicant must be either the owner of the subject property or his duly authorized agent or representative, and, if the Applicant is an agent or representative, the Applicant must submit proof to the Commission that he is authorized to represent the owner of the subject property.

Whenever the ownership of the subject property is complex - a partnership, corporation, land trust or association - the Applicant shall so indicate. Further, the Commission may require disclosure of all real parties of interest in the subject property.

4. The description of a proposal should include, at a minimum, types of land uses and space uses, floor area, number of dwelling units and height of proposed structures in feet or stories. Additional concise information may also be included.
5. Under the provisions of Section 194B-6.1(c) of the Lake Michigan and Chicago Lakefront Protection Ordinance, the Applicant must submit to the Commission at the time of filing an Application a list of the names and last known addresses of the owners of all property on which notice must be served, the method of service employed, the names and addresses of persons so served, and a statement certifying that the Applicant has complied with the noticing provisions of Section 194B-6.1(c) of the Lake Michigan and Chicago Lakefront Protection Ordinance. The Commission will not accept an application unless and until the Applicant furnishes the required list and certificate.
6. If there are any other approvals required from other public agencies before the Applicant can proceed with his proposal, they should be listed; except that other City of Chicago licenses and permits may be omitted as items requiring listing herein. If no other approvals are required, enter "NONE" under VI A. Examples of items which should be listed include approval of FHA financing, a U.S. Corps of Engineers permit, Federal Aviation Authority Approval, among others.

PART ONE: GENERAL INFORMATION

- I. Date of Application: _____, 20____.
- II. Address or location of the Site of the Proposal: 952 W Carmen Ave, Chicago, IL 60640

III. Information on the Applicant and the Owner

A. Applicant

1. Name: 5035 N Sheridan Inc. Phone: 312-617-2788
2. Address: 3210 N Halsted St, Chicago, IL 60657

B. Owner

1. Name: 5035 N Sheridan Inc. Phone: 312-617-2788
2. Address: 3210 N Halsted St, Chicago, IL 60657

- C. If the Applicant is not the owner, check here _____ that proof has been attached to this Application that the Applicant is the duly authorized agent or representative of the owner.

- D. If the ownership of the subject property is complex, the Applicant shall indicate the type of ownership:

1. _____ Land Trust 2. _____ Partnership or Association
3. X Corporation 4. _____

- IV Brief Description of the Proposal: New construction of 8-story with basement mixed-use building with 77 residential units, 1 retail space, and a 39 space indoor residential parking garage. The existing zoning district for the property will remain B1-5 and the project will conform to all of the as of right requirements of the B1-5

- V. The noticing provisions of Section 194B-6.1(c) have been completed as they apply to the Applicant: Check here X.

- VI. The Applicant must also obtain the following approvals in addition to the approval of the Plan Commission:

- A. Nature of Approval: _____

Agency: _____

- B. Nature of Approval: _____

Agency: _____

- C. Nature of Approval: _____

Agency: _____

Address: _____

GUIDELINES FOR COMPLETING PART TWO OF THE APPLICATION

All graphic materials must be submitted in an 8.5" x 11" format and must be suitable for clear and sharp, black and white reproduction. Each map or diagram should have a scale and a north arrow. Each sheet of graphic material must be labeled with the appropriate figure number. If there are multiple sheets comprising one figure - for example figure 4 - those sheets should be labeled consecutively, for example Figure 4-1, Figure 4-2, etc., and each sheet should contain the address of the site of the proposal in the lower left corner.

For Figure 1, the Applicant should consider the "vicinity of the site" to be at least as extensive as the area for which he is required to give notice plus any intervening streets or other public rights-of-way.

For Figures 3 and 4, the Applicant should consider that "recreation areas" and "recreation space and facilities" include game courts, swimming pools and pool areas, game rooms, exercise rooms, party rooms, community rooms, observation decks and sun decks.

The required narrative statement should describe the features of the proposed development, including size and mix of dwelling units, mix of uses on the site, etc. It should present a basic rationale for the development.

For Figure 6, the Applicant is urged to provide any materials at 8.5" x 11" which will facilitate the review of his Application.

PART TWO: CHARACTER OF THE PROPOSAL

This portion of the Application must be completed by attaching the following items, correctly sized and labeled, to the Application:

- I. Figure 1: A Map of the Vicinity of the Site, showing Lake Michigan, lakefront parks, preferential streets, schools, parks, major institutions. All streets on this map should be named, and the outline and height on all structures on properties immediately adjacent to the site of the proposal must be shown.
- II. Figure 2: A Map of the Existing Site, showing locations and dimensions of lot lines; contour intervals (5-foot) ; existing structures, walkways, driveways, special features.
- III. Figure 3: The Proposed Site Plan, showing locations and dimensions of proposed structures, driveways and walkways; proposed exterior parking areas; proposed exterior open space and recreation areas.
- IV. Figure 4: Proposed Floor Plans, including the ground floor, a typical floor, any floor with recreation space or facilities.
- V. Figure 5: An Elevation or Cross-section, showing the height and number of stories for all proposed structures.
- VI. Narrative: A Statement Describing the Proposed Development.

In addition, the Applicant is encouraged to provide additional graphic materials, visual aids; e.g., photographs, renderings, data tables, among others. Any such exhibits shall be labeled Figure 6.

Planned Development (PD) Zoning Code Analysis

Primary Project Address: 952 West Carmen Ave		Date: 06.05.2023
Applicant Name and Firm: 5035 N. Sheridan Inc.		
Attorney Name and Firm: Tom Moore		
PD Threshold: Lakefront protection review only. No Planned Development.		<input type="checkbox"/> Mandatory <input type="checkbox"/> Elective
Ward:	48	Planning Region:
Est'd Project Cost:	10,000,000	Est'd Perm/Const Jobs: /

	<u>Existing Zoning / Existing Conditions</u>	<u>Proposed Zoning / Code Requirement</u>	<u>Proposed Project</u>	<u>Waiver Req? (Y/N)</u>
Zoning District	B1-5	B1-5 (No Change)		N
Net Site Area	15,730 s.f.			N
Uses (include all proposed)	R,B	R,B		N
Residential Units (total)	78 max.		77	N
• Efficiencies (# & %)			14(18%)	N
• One-Bedroom (# & %)			28(36%)	N
• Two-Bedroom (# & %)			35(45%)	N
• Three-Bedroom (# & %)	0		0	N
Minimum Lot Area/Unit	200		200	N
ARO Units	0		0	N
Retail Square Feet	3,146 min.		3,695	N
Office Square Feet	0		0	N
Accessory Parking	39		39	N
Non-Accessory Parking	0		0	N
Bicycle Parking	77		77	N
Loading Berths (# & size)	1(10'x25')		1(10'x25')	N
TSL Elements				N
Maximum Base FAR	78,650 SF max.		77,554 SF	N
NOF Bonus FAR				N
Front Setback	0'-6"		1'-0"	N
Side Setback(s)	5'-0" (North)		5'-0" (North)	N
Rear Setback	30'-0" @ RES. FLRS		30'-0" @ RES. FLRS	N
Height	80'-0" max.		78'-10"	N
# of Stories			8	N
Open Space				N
Sustainable Feature(s)		Geothermal system.		
Landmark Elements	None	None		



2229
 proj.#
 proj.
 description



VICINITY MAP
 N.T.S.

jsa
 jonathan splitt architects ltd.
 4001 north ravenwood avenue
 suite 601
 chicago illinois 60619-2576
 773 865 1017 fax 773 865 3081

DIG MANAGEMENT
 DEVELOPMENT
 803 W CARMEN
 CHICAGO, IL

062225; LAKEFRONT PROTECTION REVIEW

FIG 1

j s a
Jonathan Spurr
Architects Ltd.
 4001 North Ravenswood Ave.
 Suite 601
 Chicago Illinois 60613
 773 883 1017 phone
 773 883 3081 fax
 jsa@jsarch.com

CONTRACT NO.:

GENERAL NOTES:



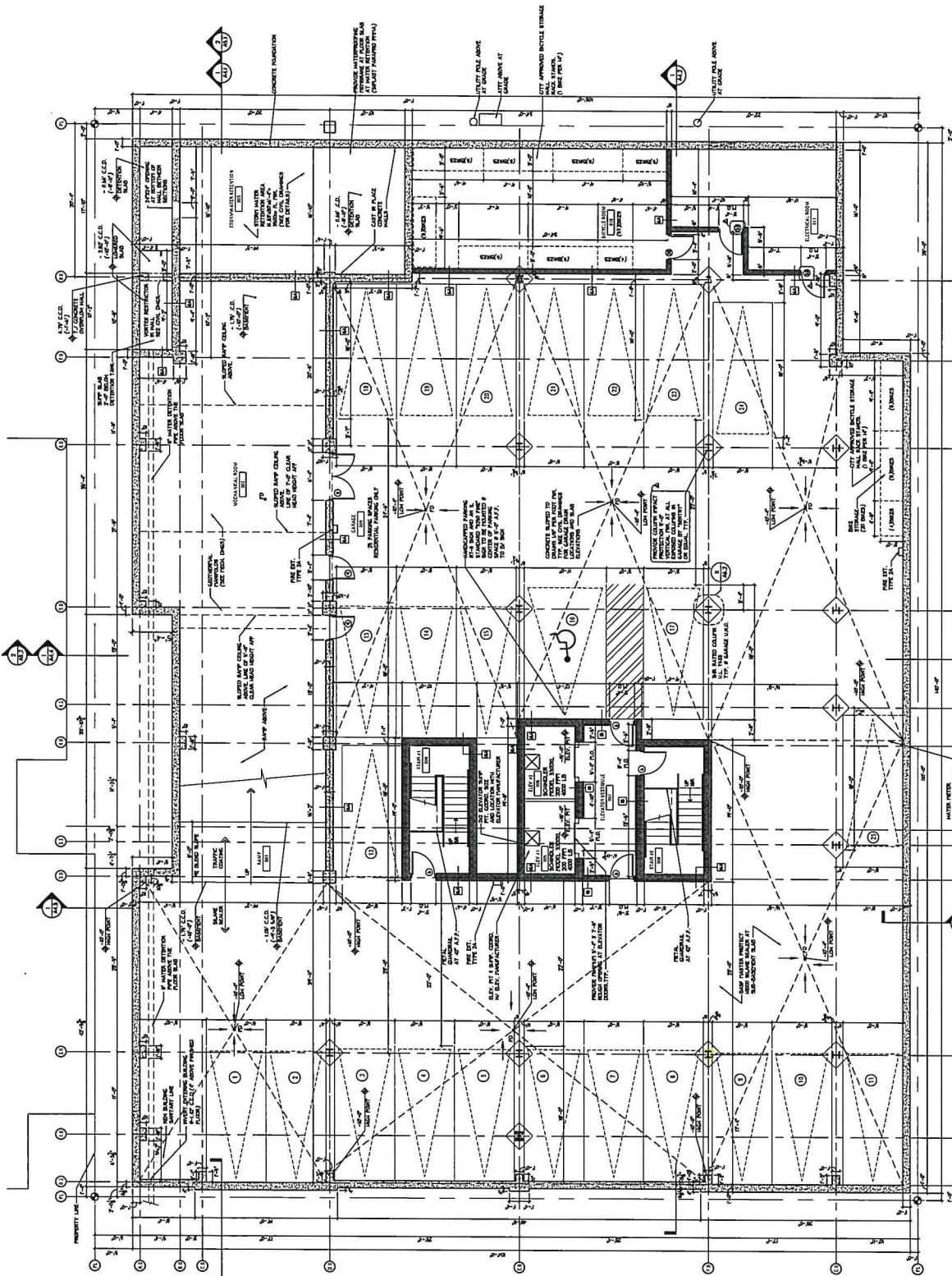
DATE: 04.11.2023
 Issued for Permit: 03.11.2023
 Issued for Permit Review: 03.11.2023
 Issued for OAC Review: 03.11.2023
 Issued for Developer Review: 03.11.2023

PROJECT:
 331 WEST CALUMET AVE.
 CHICAGO, ILLINOIS
 60604

SUBJECT:
 BASEMENT PLAN

SWP - 100

BASEMENT PLAN



TYPICAL EGRESS DOOR NOTE
 -ALL EGRESS DOORS TO BE RATED (SEE DOOR SCHEDULE)
 -ALL EGRESS DOORS TO BE SELF-CLOSING
 -ALL EGRESS DOORS TO HAVE SELF-CLOSING DEVICE

STAIR NOTES (SEE ALSO FOR ENLARGED STAIR PLANS & SECTIONS)
 -ALL INTERIOR STAIRS TO BE STEEL PAN W/ CONCRETE TOPPING (PROVIDE SHOP DRAWINGS)
 -PROVIDE 1" x 8 HANDRAIL # 7'-0" ABOVE NOSING. ALL RAIL OPENINGS TO BE LESS THAN 1/4" CLEARANCE
 -75% OF LANDING TO REMAIN CLEAR @ ALL TIERES (SEE GENERAL NOTE)
 -ALL STAIR AND SUPPORTING CONSTRUCTION TO BE RIR FIN.
 -P.N.A. TRUSS: 1/4" DIA. ROSSER-7

GENERAL NOTE
 -PROVIDE FIRE RATED DRYWALL CONTROL JOINTS AT ALL UNIT ENTRY DOORS
 -PROVIDE SOLID BLOCKING AT ALL UNIT ENTRY DOORS

BENCHMARK DATA
 LOCATION: 100 FT. WEST OF EAST LINE OF HENKORE AVE. AND 127.5 FT. NORTH OF BRIN THAR AVE.
 ELEVATION: 442.4 CITY OF CHICAGO BENCHMARK DATUM
 AS PER ANDREW SPETHAK LAND SURVEYOR, INC.
 0'-0" x 0'-0" C.C.D.

j s a
Jonathan Spurr
Architects Ltd.
 4001 North Ravenswood Ave.
 Suite 801
 Chicago, Illinois 60613
 773.883.1017 phone
 773.883.3081 fax
 jsa@jsarch-llc.com

CONTRACT NO.:

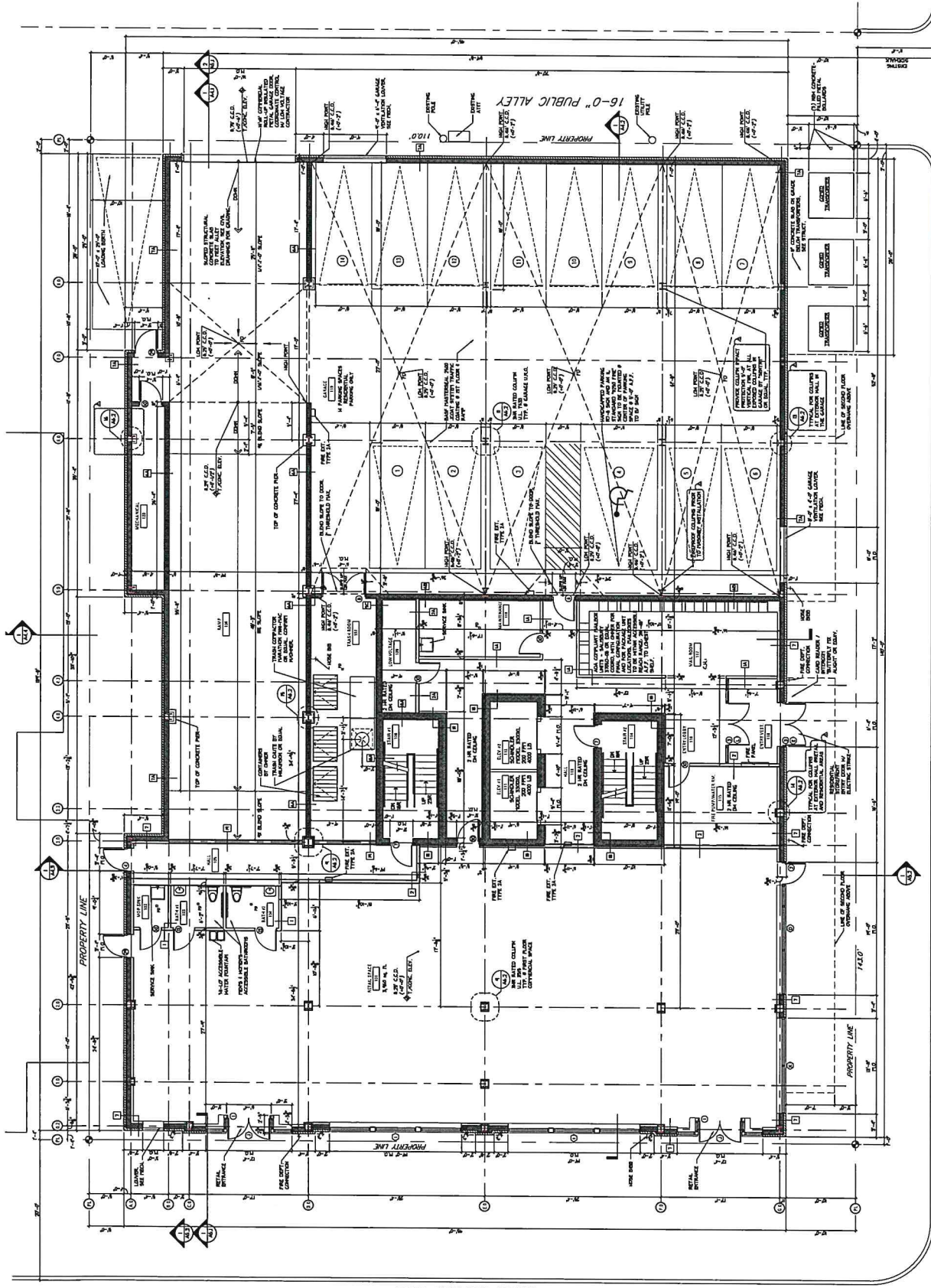
GENERAL NOTES:



04.11.2023
 Issued for Permit (11/11/2023)
 Issued for Permit Review (03/12/2023)
 Issued for OIG Review (03/12/2023)
 Issued for Developer Service Pricing (03/12/2023)

PROJECT:
 925 WEST CARMEN AVE
 CHICAGO, ILLINOIS
 60608

DATE:
 04.11.2023
 SHEET NO. 12
 OF 12



WEST CARMEN AVENUE

TYPICAL EGRESS DOOR NOTE:
 -ALL EGRESS DOORS TO BE RATED (SEE DOOR SCHEDULE)
 -ALL EGRESS DOORS TO BE KEYS IN THE DIRECTION OF EGRESS
 -ALL EGRESS DOORS TO HAVE SELF-CLOSING DEVICE

REAR NOTE: (SEE A1'S FOR ENLARGED STAIR PLANS & SECTIONS)
 -ALL INTERIOR STAIRS TO BE STEEL PAN W/ CONCRETE TOPPING (PROVIDE SHOP DRAWINGS)
 -ALL STAIRS TO BE A MINIMUM 8" HIGH ABOVE nosing. ALL RAIL OPENINGS TO BE LESS THAN 1/4" W/ NO LARGER EFFECT
 -FE OF LANDING TO BE REPAIR CLEAR @ ALL TIERES (SEE GENERAL NOTE)
 -ALL STAIR AND SUPPORTING CONSTRUCTION TO BE 2HR. TYP.

GENERAL NOTE:
 -PROVIDE FIRE RATED DRYWALL CONTROL PARTS AT ALL UNIT ENTRY
 -PROVIDE SOLID BLOCKING AT ALL UNIT ENTRY DOORS

BENCHMARK 8991
 LOCATION: 925 FT. WEST OF EAST LINE OF KENMORE AVE. AND
 NORTH SIDE OF 925 FT. WEST OF EAST LINE OF KENMORE AVE.
 ELEVATION: 644.4' CITY OF CHICAGO BENCHMARK DATUM
 SURVEY: 855-221
 SURVEYOR: SPIDHAK LAND SURVEYOR, INC.
 0-0-0-0-0-0 C.C.D.

FIRST FLOOR PLAN
 925 - 1st F

j s a
Jonathan SPLITT
Architects LLC
 4001 North Ravenswood Ave.
 Suite 601
 Chicago Illinois 60613
 773 883 1017 phone
 773 883 3081 fax
 jsa@jsarch-llc.com

EXHIBIT A

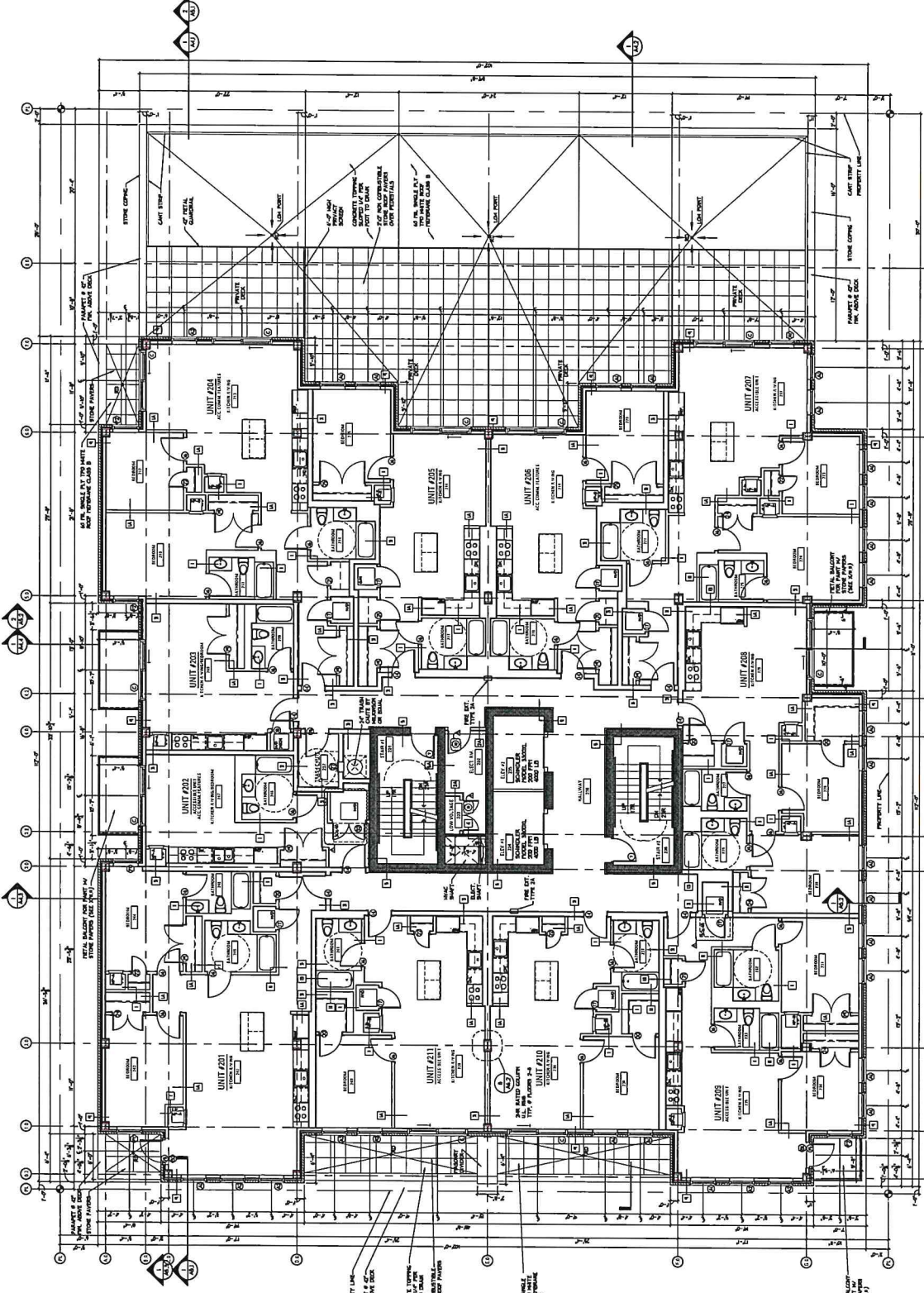
GENERAL NOTES:



04.11.2023
 Issued for Permit
 03.11.2023
 Issued for Permit Review
 01.11.2023
 Issued for AEC Review
 01.10.2023
 Issued for Developer Review
 01.09.2023

Project No: 202
 Drawn By: SSWEST CARMONA
 Checked By: SSWEST CARMONA
 Chicago, Illinois 60642

Scale: SECOND FLOOR PLAN
 A
 1.3



STAIRS NOTE: (SEE A5 FOR ENLARGED STAIR PLANS & SECTIONS)
 -ALL INTERIOR STAIRS TO BE STEEL PAN W/ CONCRETE TOPPING (PROVIDE SHAP DRAWINGS)
 -ALL STAIRS TO BE 4" W/ NO JOIST EFFECT
 -RISER TO BE 7" MAX. TREAD TO BE 11" MAX. RISER 7"

GENERAL NOTE:
 PROVIDE FIRE RATED PARTIAL WALLS AT ALL UNIT ENTRY DOORS
 -PROVIDE SOLID BLOCKING AT ALL UNIT ENTRY DOORS

STAIRS NOTE: (SEE A5 FOR ENLARGED STAIR PLANS & SECTIONS)
 -ALL INTERIOR STAIRS TO BE RATED (SEE DOOR SCHEDULE)
 -ALL STAIRS TO BE 4" W/ NO JOIST EFFECT
 -ALL EGRESS DOORS TO HAVE SELF-CLOSING DEVICE

GENERAL NOTE:
 PROVIDE FIRE RATED PARTIAL WALLS AT ALL UNIT ENTRY DOORS
 -PROVIDE SOLID BLOCKING AT ALL UNIT ENTRY DOORS

GENERAL NOTE:
 PROVIDE FIRE RATED PARTIAL WALLS AT ALL UNIT ENTRY DOORS
 -PROVIDE SOLID BLOCKING AT ALL UNIT ENTRY DOORS

GENERAL NOTE:
 PROVIDE FIRE RATED PARTIAL WALLS AT ALL UNIT ENTRY DOORS
 -PROVIDE SOLID BLOCKING AT ALL UNIT ENTRY DOORS

SECOND FLOOR PLAN
 SW - 1 x 4'

24" THICK CONCRETE ON SLAB TO BE RATED
 UP TO 10' CLEARANCE FROM SLAB TO
 AND EXTEND 4" UP ROOF

PROPERTY LINE
 1/2" MIN. CLEARANCE
 FROM UNIT DOOR

CONCRETE TOPPING
 4" MIN. THICK
 NOT TO SLAB

STEEL BALCONY
 1/2" MIN. THICK
 OVER 10' CLEARANCE

STEEL BALCONY
 1/2" MIN. THICK
 OVER 10' CLEARANCE

STEEL BALCONY
 1/2" MIN. THICK
 OVER 10' CLEARANCE

STEEL BALCONY
 1/2" MIN. THICK
 OVER 10' CLEARANCE

STEEL BALCONY
 1/2" MIN. THICK
 OVER 10' CLEARANCE

STEEL BALCONY
 1/2" MIN. THICK
 OVER 10' CLEARANCE

STEEL BALCONY
 1/2" MIN. THICK
 OVER 10' CLEARANCE

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 1/2" MIN. THICK
 OVER 10' CLEARANCE

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 1/2" MIN. THICK
 OVER 10' CLEARANCE

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 OVER 10' CLEARANCE

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 OVER 10' CLEARANCE

STEEL BALCONY
 1/2" MIN. THICK
 OVER 10' CLEARANCE

STEEL BALCONY
 1/2" MIN. THICK
 OVER 10' CLEARANCE

STEEL BALCONY
 1/2" MIN. THICK
 OVER 10' CLEARANCE

STEEL BALCONY
 1/2" MIN. THICK
 OVER 10' CLEARANCE

STEEL BALCONY
 1/2" MIN. THICK
 OVER 10' CLEARANCE

j s a
 jonathan splitt
 architects ltd.
 4001 north ravenswood ave.
 suite 801
 chicago illinois 60613
 773 883 1017 phone
 773 883 3081 fax
 jsa@search-ltd.com

CONSULTANTS:

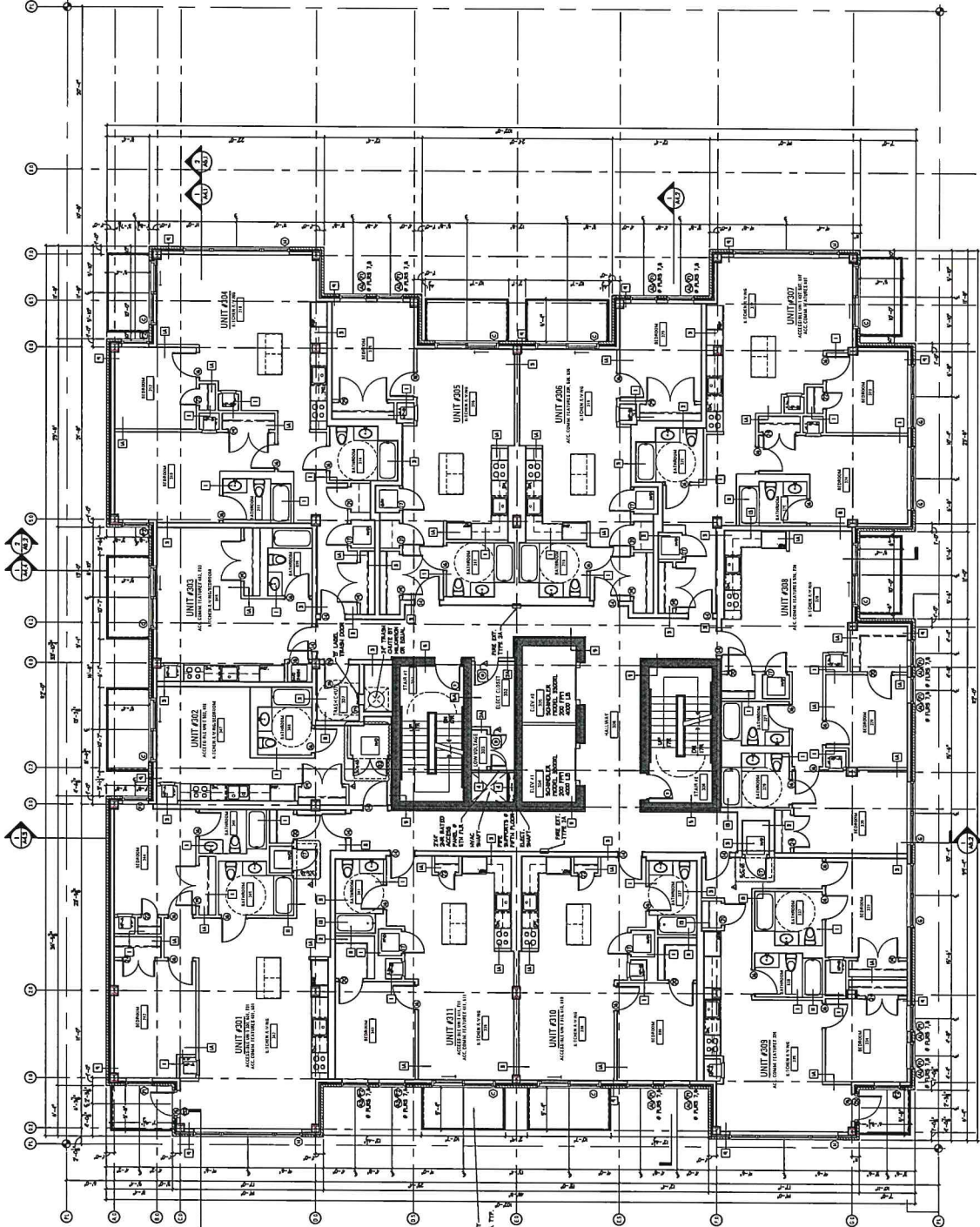
GENERAL NOTES:



- DATE: 04.11.2023
 PROJECT: 10 WEST CAMDEN AVE
 CHICAGO, ILLINOIS 60640
 SHEET: 1.4
 1. Issued for Developer Budget Pricing

PROJECT NO: 10 WEST CAMDEN AVE
 CHICAGO, ILLINOIS 60640

THIS IS THE THIRD FLOOR PLAN
 1.4



IF THERE ARE ANY DISCREPANCIES OR OMISSIONS OF SCALE TO
 COMPARE WITH THE ARCHITECTURAL DRAWINGS, THE SURVEYOR'S DATA,
 AND RECORDS OF THE PROPERTY SHALL PREVAIL.

- BENCHMARK DATA**
 LOCATION: 100 FT. WEST OF EAST LINE OF KENMORE AVE. AND
 100 FT. WEST OF EAST LINE OF CAMDEN AVE.
 ELEVATION: 642.4' CITY OF CHICAGO BENCHMARK DATUM
 AS PER ANDREW SPIDAK LAND SURVEYOR, INC.
 SURVEY #152-22
 07-08-79 C.C.D.
- GENERAL NOTE**
 PROVIDE FIRE RATED PARTIAL WALLS AND DOORS AT ALL UNIT ENTRY
 DOORS. TYP. PROVIDE SOLID BLOCKING AT ALL UNIT
 ENTRY DOORS
- STAIRS NOTE (SEE A1.5 FOR ENLARGED STAIR PLANS & SECTIONS)**
 -ALL INTERIOR STAIRS TO BE STEEL PAN W/ CONCRETE TOPPING (PROVIDE SHOP
 DRAWINGS FOR STAIRS)
 -1" x 4" HANDRAIL @ 2'-0" ABOVE WALKING. ALL RAIL OPENINGS TO BE LESS
 THAN 4" W/ NO 'LOOPER' EFFECT.
 -1/2" OF LANDING TO REMAIN CLEAR @ ALL TURNS (SEE GENERAL NOTE).
 -MAX. TREAD: 11". MAX. RISE: 7"
- TYPICAL EGRESS DOOR NOTE**
 -ALL EGRESS DOORS TO BE RATED
 (SEE DOOR SCHEDULE)
 -ALL EGRESS DOORS TO BE
 SETLESS IN DIRECTION OF EGRESS.
 -ALL EGRESS DOORS TO HAVE
 SELF-CLOSING DEVICE.

THIRD EIGHTH FLOOR PLAN
 3W - 17P

j s a
 jonathan split
 architects ltd.
 4001 north ravenswood ave.
 suite 601
 chicago illinois 60613
 773 883 1017 phone
 773 883 3081 fax
 jsa@jsarch-ltd.com

consultants:

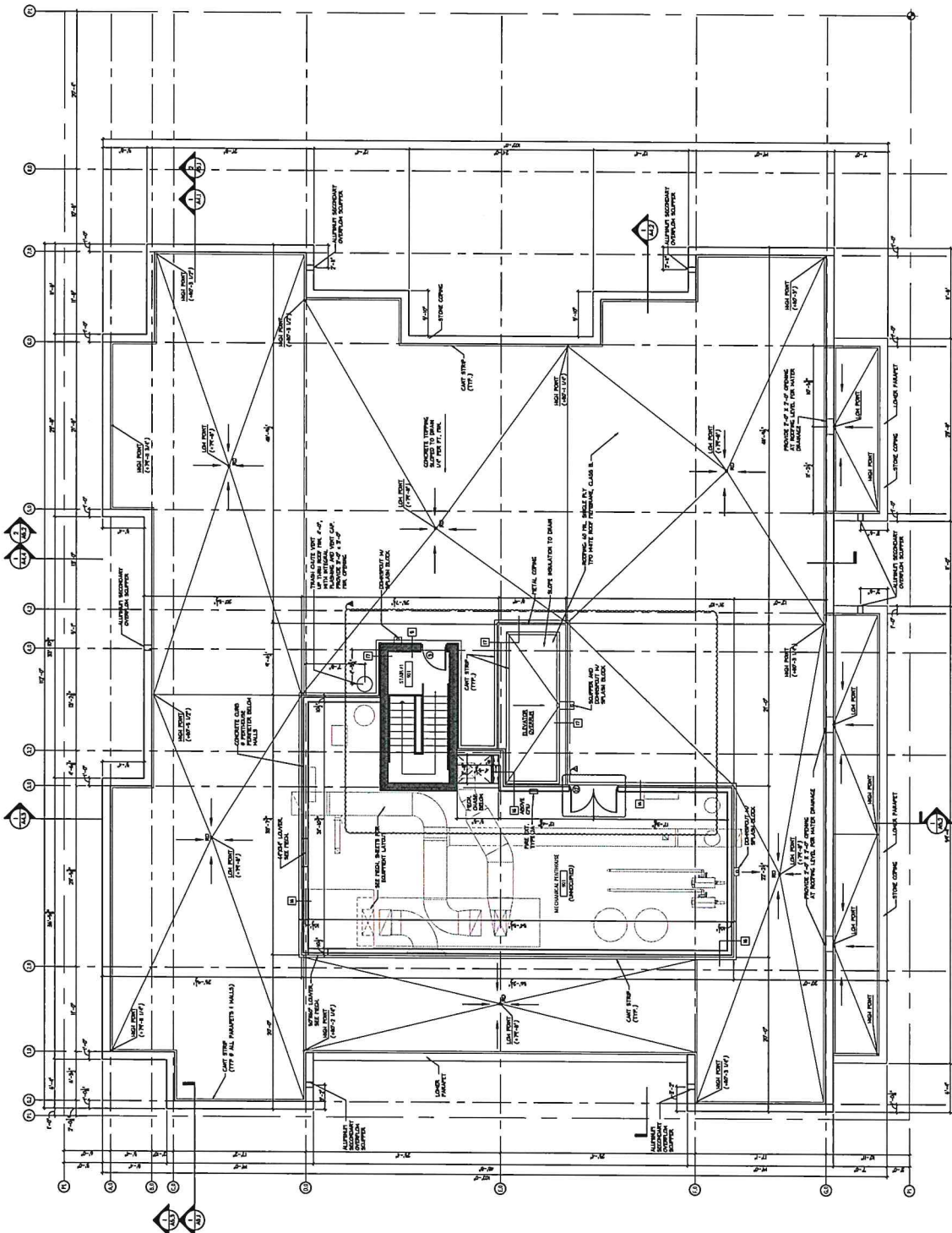
general notes:



021202322
 Issued for DRINKING
 05/24/2023
 Issued for OGC Construction
 05/24/2023
 Issued for Permit Construction
 05/24/2023
 Issued for Permit Review
 05/24/2023
 Issued for Developer Service Pricing
 05/24/2023

Project no. 222
 Project name: PROJECT CANTON
 1000 N. CANTON ST.
 CHICAGO, ILLINOIS
 60649

Sheet: ROOF PLAN
 Scale: 1/8" = 1'-0"



CONTRACT NO. 15000000000000000000
 DATE OF PLAN: 05/24/2023
 DRAWING NO.: 15000000000000000000
 SHEET NO.: 15000000000000000000

BENCHMARK 8791
 LOCATION: 100 FT. WEST OF EAST LINE OF KENMORE AVE. AND
 EAST LINE OF 100TH ST. CITY OF CHICAGO BENCHMARK DATUM
 ELEVATION: 443.4' CITY OF CHICAGO BENCHMARK DATUM
 AS PER ANDREA SPOKAS LAND SURVEYOR, INC.
 SURVEY 855-27
 C-9-83-29 C.C.D.

GENERAL NOTE:
 PROVIDE FIRE RATED ORTHALL
 DOORS AT ALL UNIT ENTRY
 DOORS. TYP.
 PROVIDE SOLID BLOCCING AT ALL UNIT
 ENTRY DOORS

STAIR NOTE: (SEE A15 FOR ENLARGED STAIR PLANS & SECTIONS)
 -ALL INTERIOR STAIRS TO BE STEEL PAN W/ CONCRETE TOPPING (PROVIDE SHAP
 -PROVIDE 1" x 4" HANDRAIL @ 2'-0" ABOVE nosing. ALL RAIL OPENINGS TO BE LESS
 THAN 4" w/ NO "LODGE" EFFECT.
 -SEE OF LANDING TO RETAIN CLEAR @ ALL TURNS (SEE GENERAL NOTE).
 -MAX. TREAD: 11", THICK. RISER: 7"

TIPOCAL EGRESS DOOR NOTE:
 -ALL EGRESS DOORS TO BE RATED
 (USE DOOR SCHEDULES)
 -ALL EGRESS DOORS TO BE
 RETLESS IN DIRECTION OF EGRESS.
 -ALL EGRESS DOORS TO HAVE
 SELF-CLOSING DEVICE.

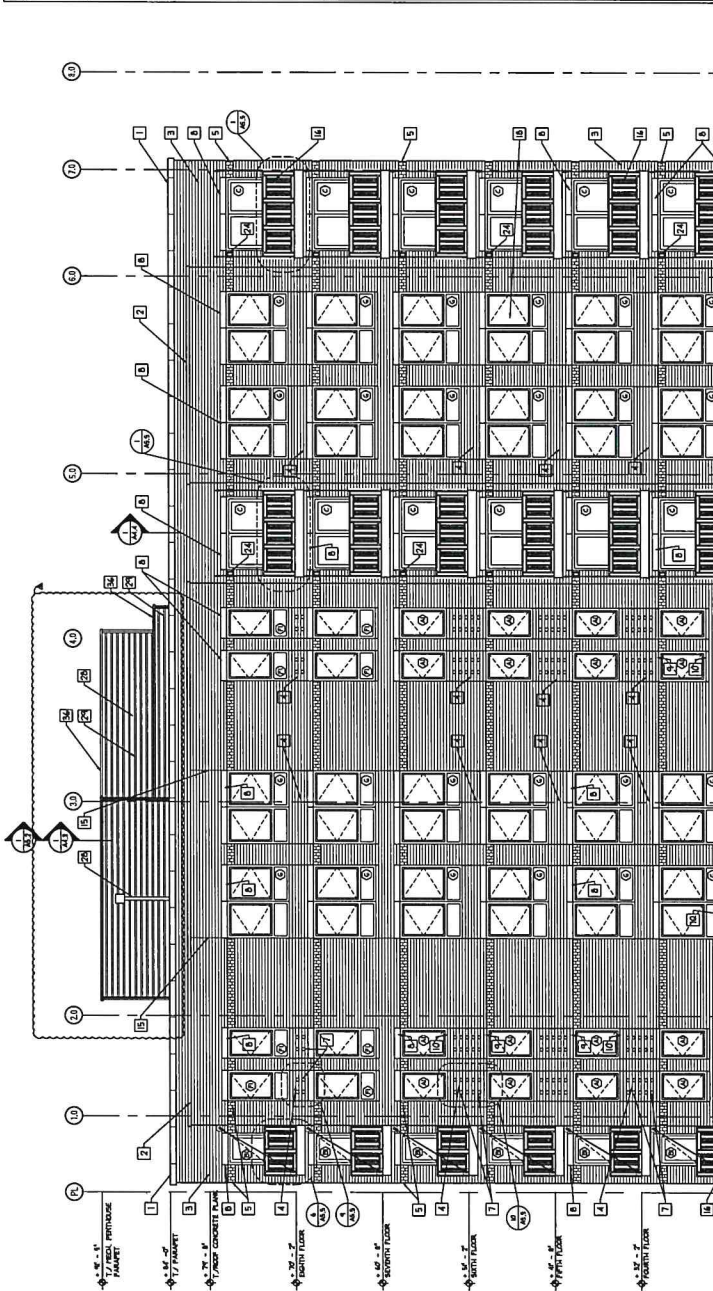
1/8" = 1'-0"
 ROOF PLAN
 15

Jonathan Spitt
 architects ltd.
 4001 north ravenswood ave.
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 chicago illinois 60613
 773 883 1017 phone
 773 883 3081 fax
 jsa@jsarch-ltd.com

CONSULTANTS:

GENERAL NOTES:

GENERAL NOTES	
1	8" STONE CORNER PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
2	PLUMBING: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
3	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
4	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
5	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
6	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
7	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
8	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
9	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
10	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
11	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
12	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
13	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
14	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
15	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
16	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
17	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
18	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
19	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
20	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
21	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
22	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
23	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
24	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
25	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
26	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
27	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
28	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
29	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
30	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
31	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
32	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
33	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
34	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
35	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
36	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL
37	MECHANICAL: HANGERS PROJECTS 1'-0" VERTICAL, TOP BOTH SIDES AND THROUGH WALL



SEALING: SOUTH ELEVATION
 3/26/14

PROJECT: 332 WEST CARMEL
 CHICAGO, ILLINOIS 60614

ISSUED FOR: DEVELOPER SERVICES REVIEW

DATE: 03/26/14

ISSUED FOR: PERMITS REVIEW

DATE: 04/14/2013

ISSUED FOR: PERMITS REVIEW

DATE: 03/26/14

ISSUED FOR: PERMITS REVIEW

DATE: 03/26/14

ISSUED FOR: PERMITS REVIEW

DATE: 03/26/14

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jonathan splutt
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 4001 north ravenwood ave.
 suite 601
 chicago illinois 60613
 773 883 1017 phone
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 jsa@sarch-ltd.com

GENERAL NOTES:

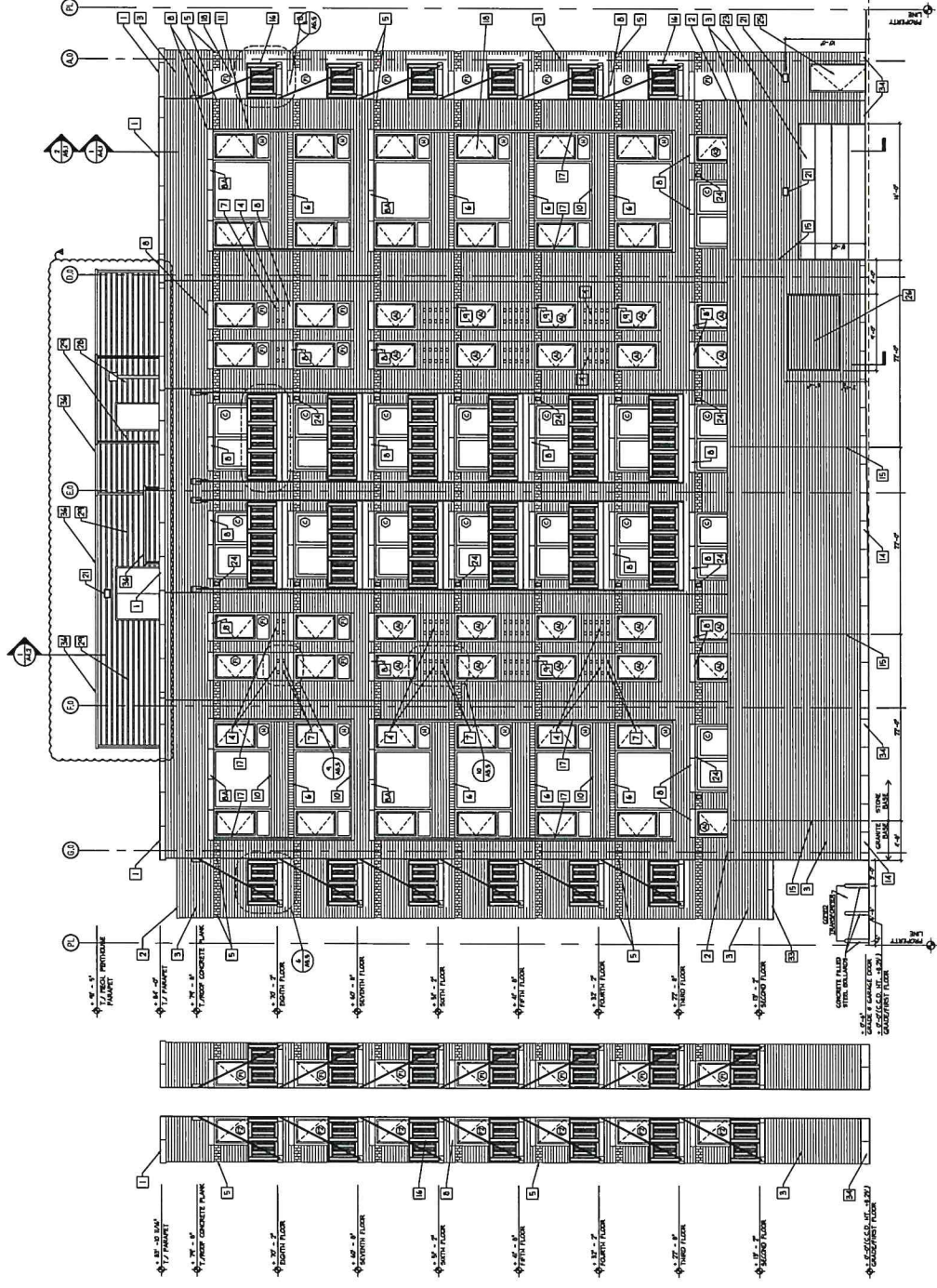
GENERAL NOTES:



ISSUED FOR ZONING COMMISSION
 05/18/2023
 ISSUED FOR PERMITS REVIEW
 06/14/2023
 ISSUED FOR PERMITS REVIEW
 06/14/2023
 ISSUED FOR PERMITS REVIEW
 06/14/2023
 ISSUED FOR DEVELOPER SERVICES REVIEW
 06/14/2023

PROJECT:
 222
 951 WEST CAMDEN
 CHICAGO, ILLINOIS
 60604

3.3



EAST ELEVATION
 3/4" = 1'-0"

GENERAL NOTES	GENERAL NOTES
1. STEEL CURTAIN WALL SYSTEM SHALL BE INSTALLED WITH 2" MINIMUM CLEARANCE FROM ALL ADJACENT WALLS AND THROUGH WALL FINISHES.	1. ALL TECHNICAL PROVISIONS TO BE COORDINATED WITH TECHNICAL DRAWINGS.
2. CURTAIN WALL SYSTEM SHALL BE COORDINATED WITH ALL OTHER SYSTEMS AND EQUIPMENT.	2. ALL CURTAIN WALL SYSTEMS SHALL BE COORDINATED WITH TECHNICAL DRAWINGS.
3. CURTAIN WALL SYSTEM SHALL BE COORDINATED WITH ALL OTHER SYSTEMS AND EQUIPMENT.	3. ALL CURTAIN WALL SYSTEMS SHALL BE COORDINATED WITH TECHNICAL DRAWINGS.
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37. CURTAIN WALL SYSTEM SHALL BE COORDINATED WITH ALL OTHER SYSTEMS AND EQUIPMENT.	37. ALL CURTAIN WALL SYSTEMS SHALL BE COORDINATED WITH TECHNICAL DRAWINGS.

EAST ELEVATION
 3/4" = 1'-0"

3.3

McCARTHY DUFFY LLP

ATTORNEYS & COUNSELORS SINCE 1886

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PROJECT NARRATIVE

952 W CARMEN AVE

LAKEFRONT PROTECTION REVIEW

The project located at 952 W Carmen Ave is a new construction 8-story + basement mixed-use apartment building with 77 residential units, 1 retail space, and a 39-space indoor residential parking garage. The existing zoning district for the property will remain B1-5 and the project will conform to all of the as of right requirements of the B1-5. The project is located in the Lakefront Protection District. The project has been submitted for permit using the direct developer services permit program. The unit mix consists of 14 efficiencies, 28 one-bedroom units, and 35 two-bedroom units. There are 77 indoor bicycle spaces. The project is privately funded.

This design includes a full vertical borehole geothermal system located beneath the building and will be one of the most efficient systems for conditioning a building. The 30 boreholes drilled to 500 ft deep exchange heat with the constant ground temperature through a closed loop piping network that reduces the heating/cooling load on the building by approximately 50%. The domestic hot water energy usage is expected to be reduced by as much as 75%. The building will also implement an enhanced ventilation system for improved indoor air quality.

FIGURE 6-1:

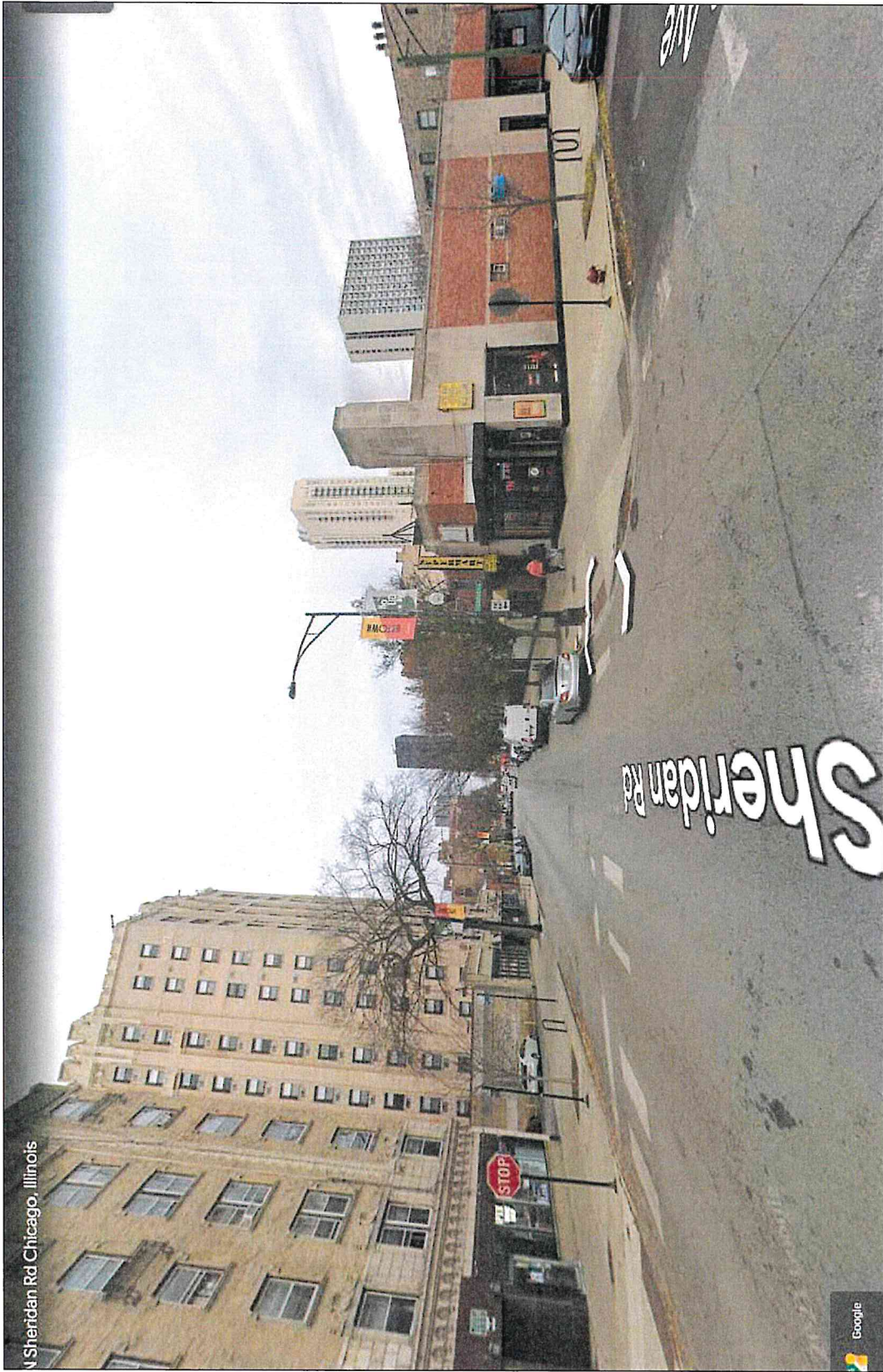
PROJECT NARRATIVE



AERIAL CONTEXT

JSA
Jonathan SPLITT architects llc.
4001 north reynoldswood avenue
suite 601
chicago illinois 60612-2576
773 863 1017 fax 773 863 3061

proj.# 2229
proj. DLG MANAGEMENT
MULTI-FAMILY DEVELOPMENT
8930 CARMEN
CHICAGO, IL
description 06/02/23: LAMEFRONT PROTECTION REVIEW

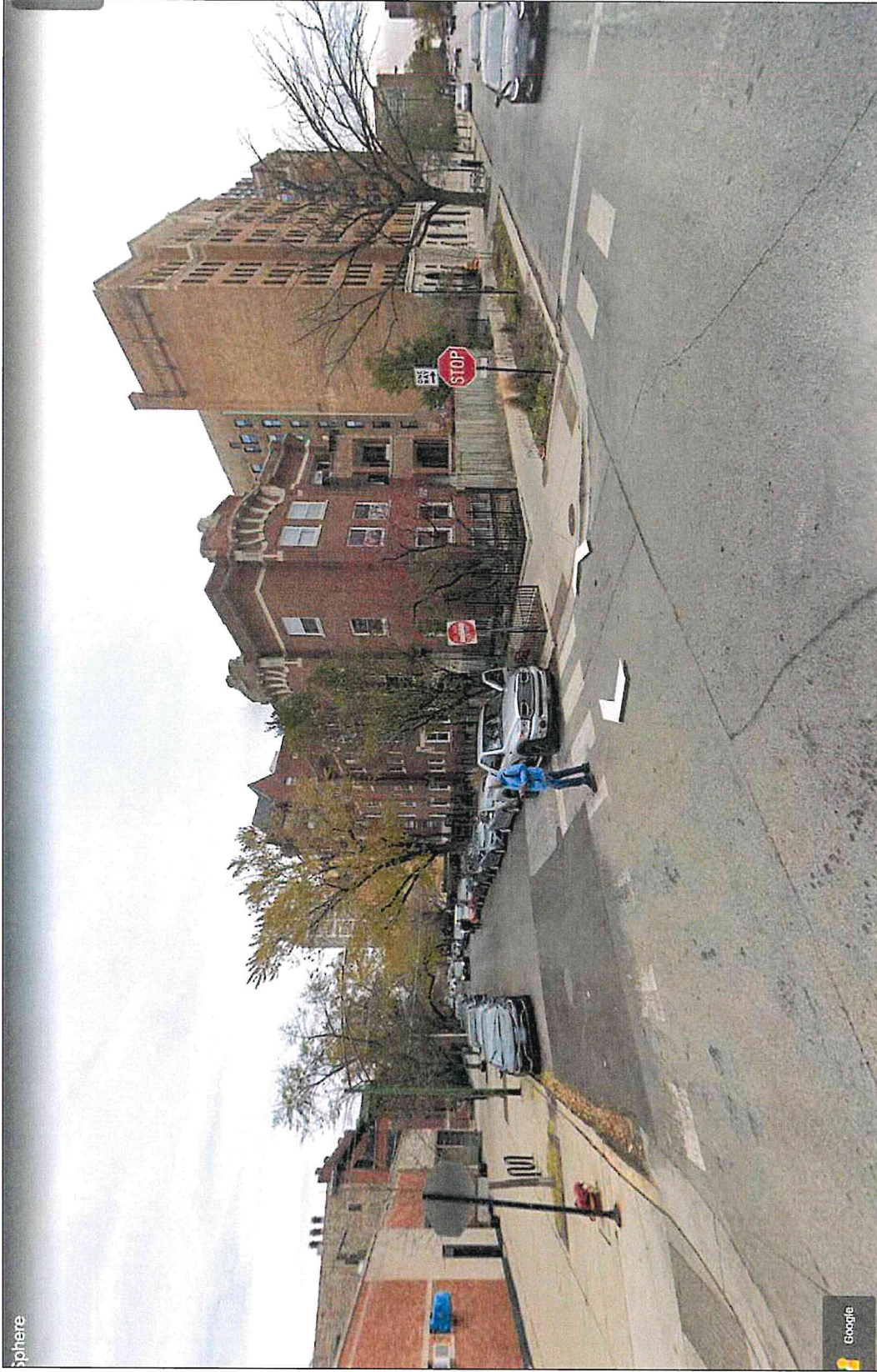


↓ Sheridan Rd Chicago, Illinois

SHERIDAN RD- STREET VIEW LOOKING NORTH

JSA
 Jonathan SPLITT architects llc.
 4001 north ravenwood avenue
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 chicago illinois 60613-6576
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proj.# 2229
 proj. D.C. MANAGEMENT
 MIXED USE DEVELOPMENT
 982 W CARMEN
 CHICAGO, IL
 description 06/02/25, LAKEFRONT PROTECTION REVIEW



INTERSECTION OF SHERIDAN RD & CARMEN AVE

JSA
 Jonathan SPLITT architects llc
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 suite 601
 chicago illinois 60612-2576
 773 863 1017 fax 773 863 3081

proj.# 2229
 proj. DLG MANAGEMENT
 DEVELOPMENT
 982 W CARMEN
 CHICAGO, IL
 description 06/02/23 LAKEFRONT PROTECTION REVIEW



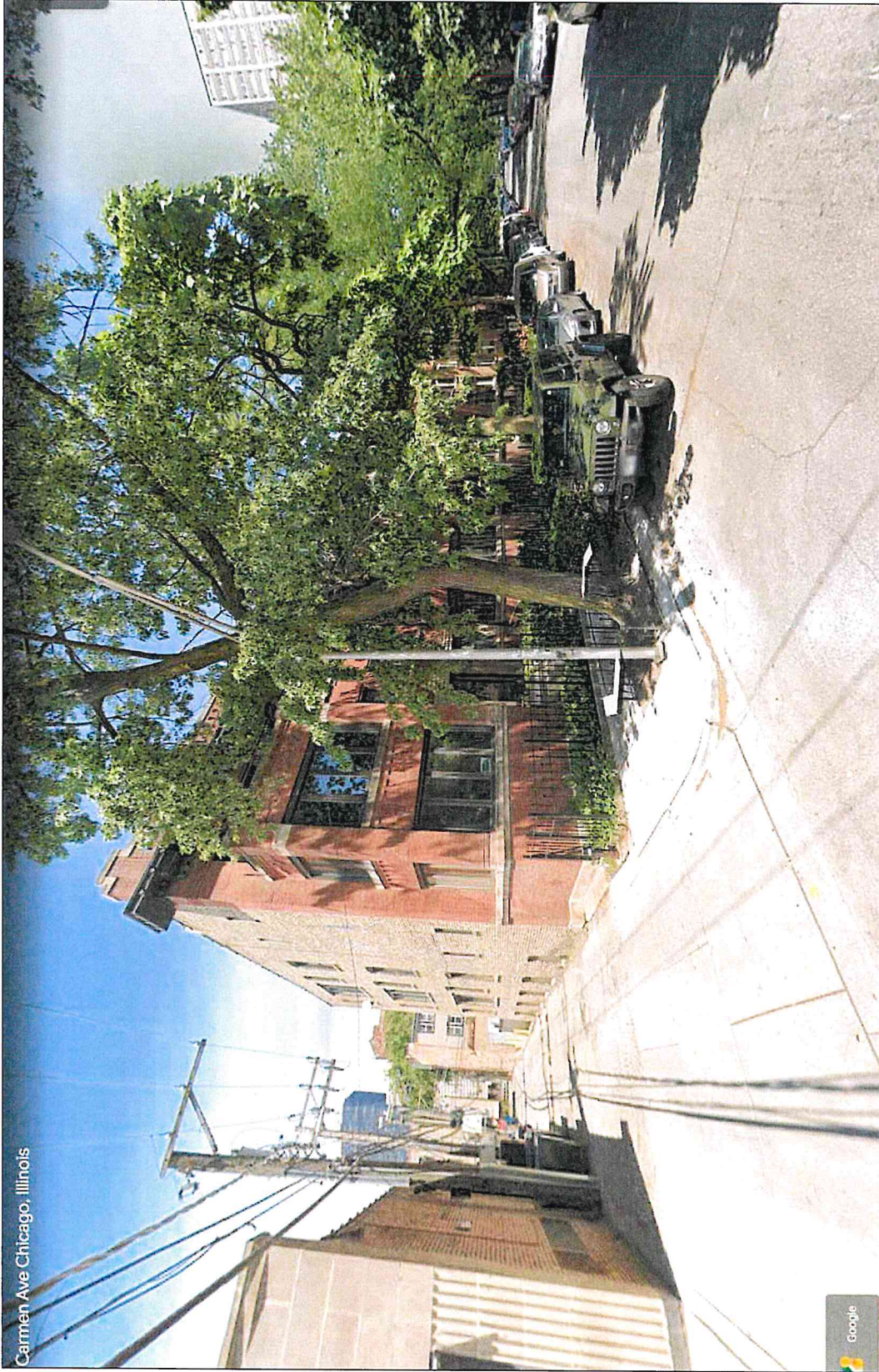
✓ Sheridan Rd Chicago, Illinois

SHERIDAN RD - STREET VIEW LOOKING SOUTH

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Chicago, Illinois 60613-2576
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proj.# 2229
proj. D.G. MANAGEMENT
MIXED USE DEVELOPMENT
982 W GARMEN
CHICAGO, IL
description 040023; LAKEFRONT PROTECTION REVIEW

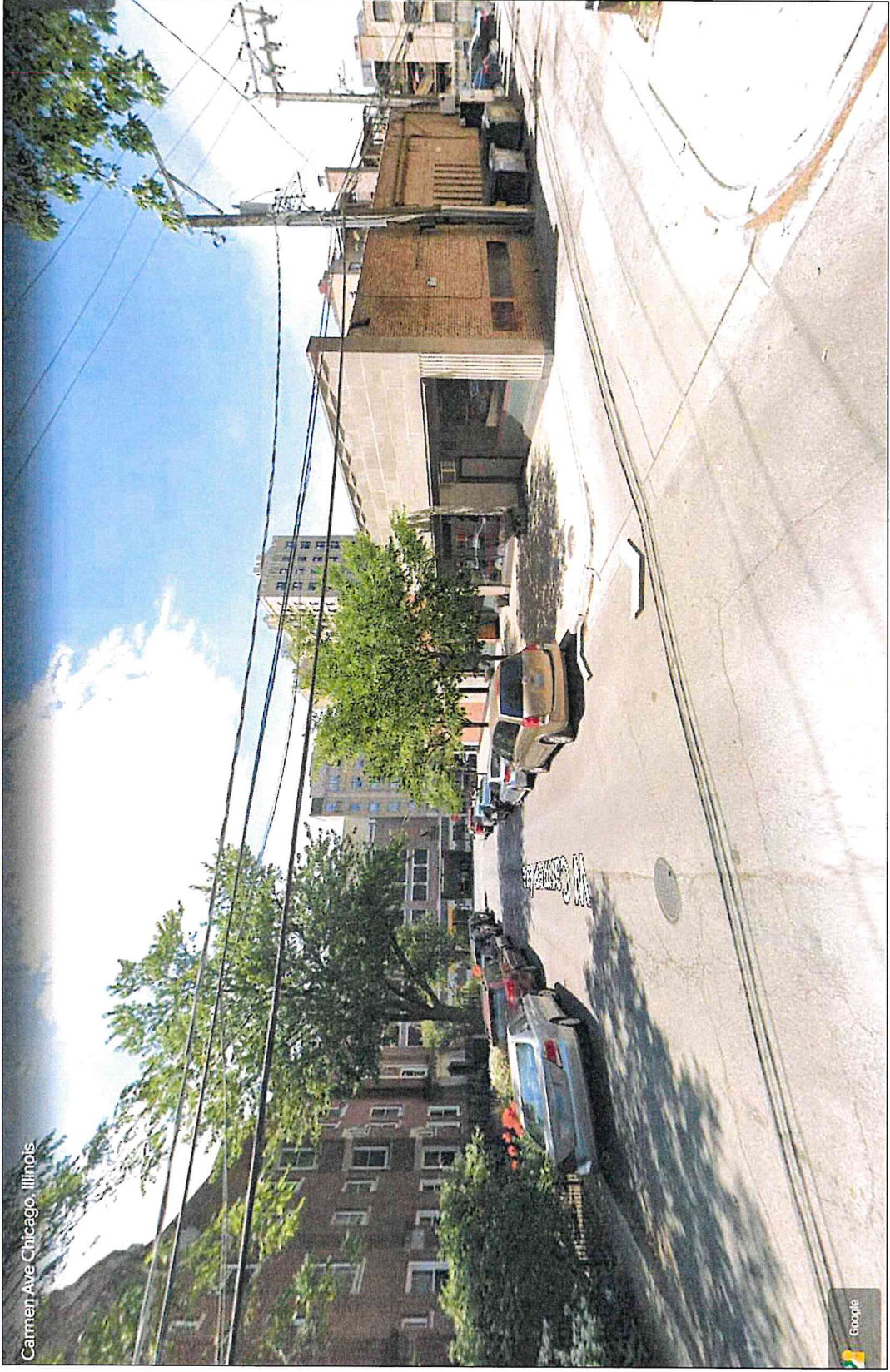
Carmen Ave Chicago, Illinois



CARMEN AVE - ALLEY LOOKING EAST

JSA
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proj.# 2229
proj. CLG MANAGEMENT
AND DEVELOPMENT
833 W CARMEN
CHICAGO, IL
description 06/02/25 LAKEFRONT PROTECTION REVIEW



Carmen Ave Chicago, Illinois

CARMEN AVE - ALLEY LOOKING WEST

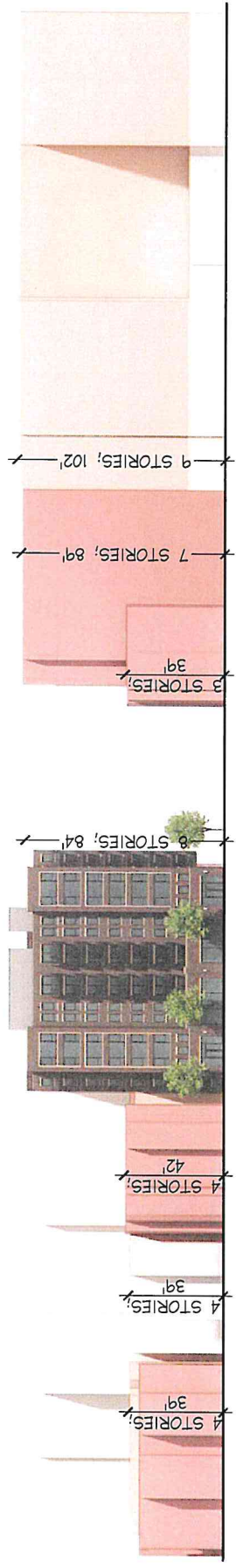
j s a
Jonathan SPLITT architects llc
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suite 601
501c 695 illinois 60613-2576
773 865 1017 fax 773 865 3081

proj.# 2229
proj. DLG MANAGEMENT
WATERFRONT DEVELOPMENT
882 W CARMEN
CHICAGO, IL
description 06/02/23 LAKEFRONT PROTECTION REVIEW

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proj.# 2220
 proj. DLG MANAGEMENT
 DEVELOPMENT
 882 W CARVER
 CHICAGO, IL
 description 060220- LAKEFRONT PROTECTION REVIEW

SITE ELEVATION

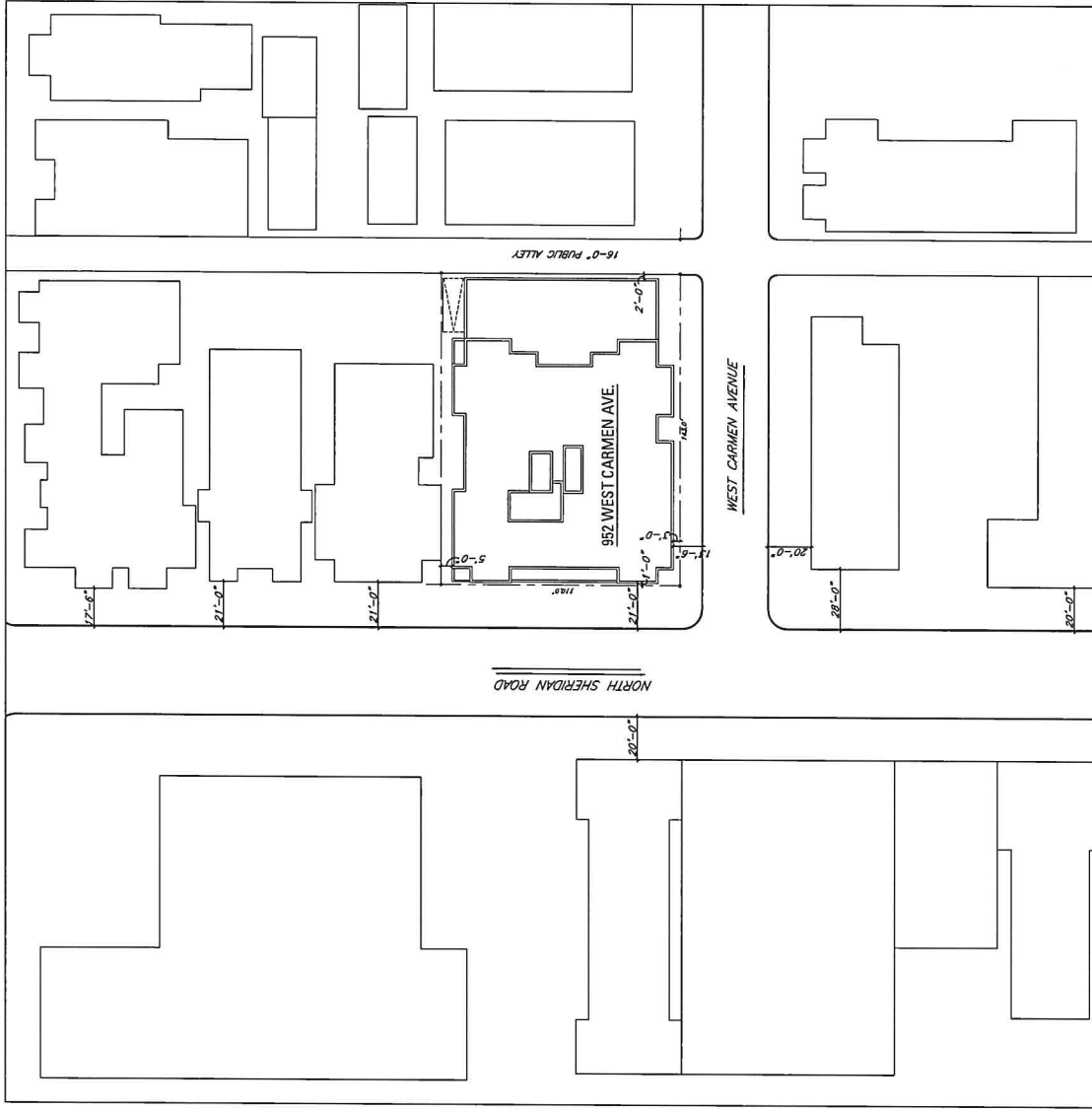




SITE ELEVATION

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 jonathan splitt architects llc
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 suite 601 illinois 60612-2576
 773 883 1017 fax 773 883 3051

proj.# 2229
 proj. RIG MANAGEMENT
 MANAGEMENT DEVELOPMENT
 883 W CARMEN
 CHICAGO, IL
 description 06/02/23, LAKEFRONT PROTECTION REVIEW



STREETSCAPE SITE PLAN
N.T.S.



proj.# 2229
 proj. DLG MANAGEMENT
 DEVELOPMENT
 882 W CARMEN
 CHICAGO, IL
 description 060229: LAKEFRONT PROTECTION REVIEW



NORTHEAST CORNER OF SHERIDAN RD & CARMEN AVE

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proj.# 2229
proj. DLG MANAGEMENT
INDUSTRIAL DEVELOPMENT
933 W CARMEN
CHICAGO, IL
description 06/02/25: LAKEFRONT PROTECTION REVIEW



CARMEN AVE ELEVATION

JSA
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 suite 601 illinois 60619-26576
 773 883 1017 fax 773 883 3081

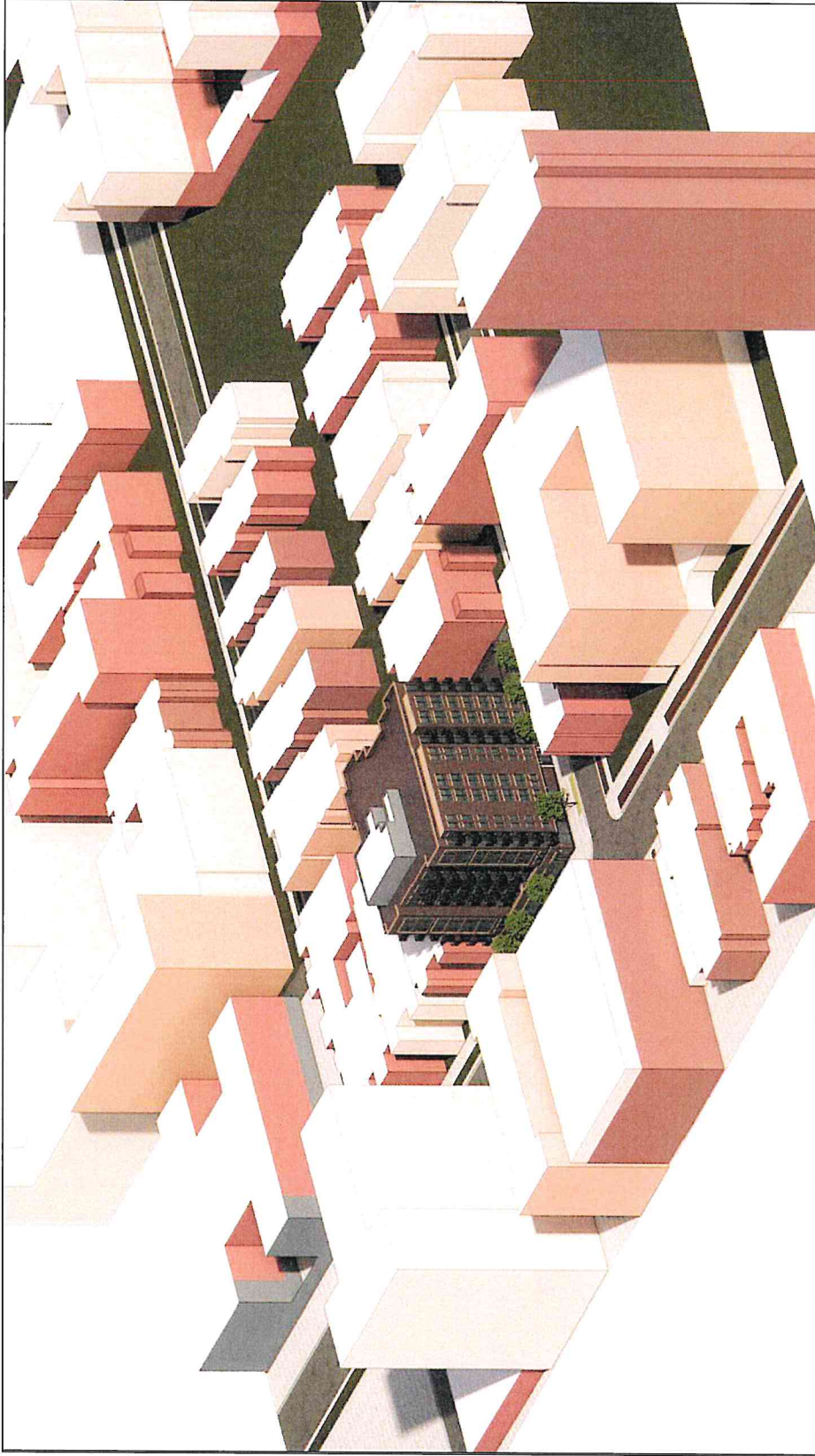
proj.# 2229
 proj. PLG MANAGEMENT
 MARKET DEVELOPMENT
 932 W CARMEN
 CHICAGO, IL
 description 06/02/23, LAKEFRONT PROTECTION REVIEW



SHERIDAN AVE ELEVATION

jsa
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 chicago illinois 773 883 1017 / fax 773 883 3081

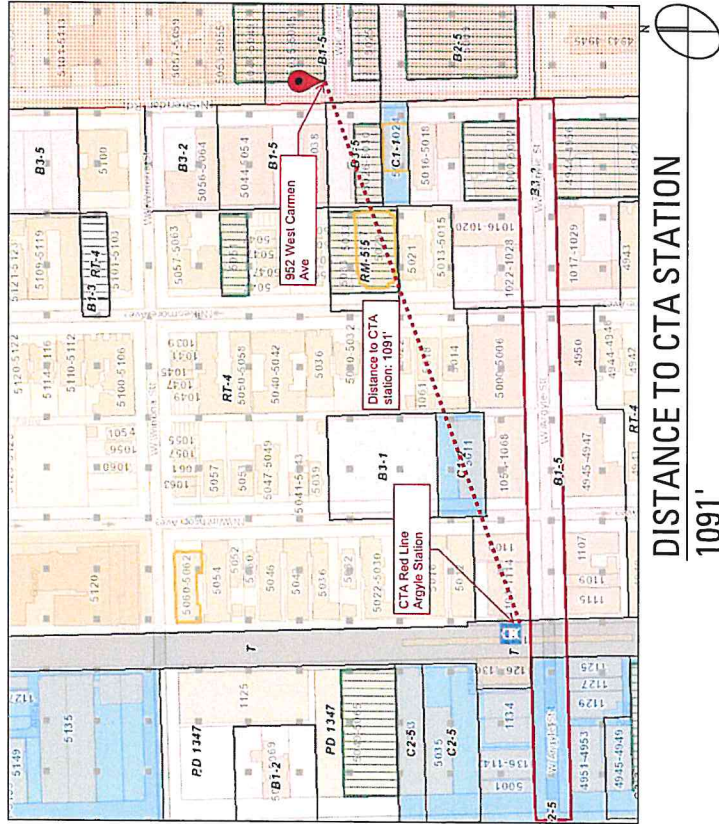
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 proj. DLG MANAGEMENT
 DEVELOPMENT
 882 W CARVER
 CHICAGO, IL
 description 06/02/22: LAKEFRONT PROTECTION REVIEW



AERIAL PERSPECTIVE RENDERING

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proj.# 2229
proj. DLG MANAGEMENT
INDUSTRIAL DEVELOPMENT
833 W CARLETON
CHICAGO, IL
description 06/02/21 LAKEFRONT PROTECTION REVIEW



952 West Carmen Ave.

ZONING DATA

ADDRESS:	952 WEST CARMEN AVE.	
LOT SIZE:	107' X 143' = 15,790 S.F.	
LOT AREA:	15,790 SQ. FT.	
HISTORIC DISTRICT:	WEST ARGYLE ST. HISTORIC DISTRICT	
ZONING DISTRICT:	BL-5	PROPOSED BUILDING
E.A.R.:	5	BL-5
MINIMUM LOT AREA:	200 SQ. FT.	4.9
MAXIMUM BUILDABLE AREA:	79,662 SQ. FT.	264 SQ. FT.
MAXIMUM NUMBER OF UNITS:	78 UNITS	71,544 SQ. FT.
MAXIMUM BUILDING HEIGHT:	80'-0"±	71 UNITS
SETBACKS:		78'-10"±
FRONT YARD:	0.52'	1'-0"
REAR YARD:	30'-0" @ DWELLING UNIT FLOORS	30'-0" @ DWELLING UNIT FLOORS
SIDE YARD:	NORTH: 5'-0"	NORTH: 5'-0"
	SOUTH: 0'-0"	SOUTH: 3'-0"
MINIMUM PARKING:	.5 SPACE/UNIT (39)	39 PARKING SPACES
REAR YARD OPEN SPACE:	NOT REQUIRED	NOT REQUIRED
LOADING BERTH:		
COMMERCIAL SPACE:	20% MIN.: 3,146 SQ. FT.	3,695 SQ. FT.
DISTANCE TO CTA TRAIN STATION:	1091'	

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Proj.# 2220
 DLG MANAGEMENT
 NEED USE DEVELOPMENT
 CHICAGO, ILL
 CHICAGO, ILL
 Description 060223: LAKEFRONT PROTECTION REVIEW